



Community Development District

Board of Supervisors

Regular Meeting

February 19, 2025 at 8:30 AM

505 Whiskey Creek Drive, Marco Island, FL 34145

Anyone wishing to listen and participate in the meeting can do so by calling
1-888-468-1195, Participant Pin 636522.

Additionally, participants are encouraged to submit questions and comments to the District Manager in advance to facilitate the Board's consideration of such questions and comments during the meeting.

The agenda is as follows:

1. Call to Order/Roll Call
2. Approval of Agenda
3. Public Comments
4. Approval of Minutes
 - a. November 20, 2024 –Landowners’ Meeting & Election Minutes
 - b. November 20, 2024 – Regular Meeting Minutes
5. Old Business
 - a. Bridge Solar Navigation Lighting Update
6. New Business
 - a. FEMA Appeal Status Update & Discussion on Future Hurricane Response Strategy
 - b. Upcoming Events in District
 - i. Tour De Marco Bicycle Event – February 23, 2025
 - ii. Marco Island Half Marathon – March 16, 2025
 - c. Development of Maintenance and Defects List
 - d. 2025 Bridge Inspection Report Results & Maintenance Planning
 - e. Consideration of Replacement Kiosk Infrastructure for Community Entrance
 - f. Set Initial Scope for 2025 Road Repairs and Improvements
7. Attorney Report
8. Engineer Report
9. Supervisors’ Requests
 - a. Jay Rosen – Reserve Study for KMCDD
10. District Manager’s Report
 - a. Acceptance of Unaudited Financials Ending January 31, 2025
 - b. Bridge Sidewalk & Concrete Columns Painting Completion
 - c. Update on KMCA Acceptance of Facilities Maintenance and Management Agreements
11. Public Comments
12. Adjournment

1
2 **Key Marco Community Development District**
3 **Landowners' Meeting & Election**
4 **November 20, 2024**

5 **Appearances**

6 Mary Beth Schewitz, Chair
7 Luanne Kerins, Co-Chair
8 Terri Stanton
9 Jennifer Sprague
10 Jay Rosen

11 **Also Present**

12 Joshua Carter, District Manager
13

14 **CALL TO ORDER/ROLL CALL**
15

16 The meeting was called to order by the Co-Chair at 8:30 AM, and it was noted that five
17 supervisors were in attendance constituting a quorum.
18

19 **Determination of Number of Voting Units Represented**
20

21 Mr. Carter noted that the total number of voting units represented between ballot and proxy
22 amounted to 11 votes.
23
24

25 **Election of a Chairman for the purpose of conducting the Landowners' Meeting**

26 Mrs. Schewitz stated that the members present would be required to elect a chair for the
27 annual meeting. Mrs. Schewitz noted that anyone could chair the landowners' meeting and
28 made a motion that Mr. Joshua Carter be chair of the landowners.

29 On a voice vote by Ms. Schewitz and a second by Mr. Herbert Krutisch of 1187 Blue Hill Creek
30 Drive, Mr. Joshua Carter was elected as chair of the Landowners' Meeting.

31
32
33 **Nominations for the position of supervisor**

34 Mr. Carter noted that seats two, three and five were up for election in 2024 and the three
35 positions would require nominations to be filled. Mr. Kevin Kerins of 1229 Blue Hill Creek Drive
36 made a nomination for the incumbent, Jay Rosen of 1084 Blue Hill Creek Drive and incumbent
37 Terri Stanton of 1247 Blue Hill Creek Drive. Mr. Herbert Krutisch of 1187 Blue Hill Creek Drive
38 made a nomination incumbent Luanne Kerins of 1229 Blue Hill Creek Drive. Mr. Carter asked if
39 there be any other nominations for candidates of the Board of Supervisors. No further
40 nominations were made.
41

42 **Casting of Ballots**

43 Mr. Greg Urbancic, District Counsel for Key Marco CDD appeared before the members present
44 and gave instructions for the voting process. Mr. Urbancic noted that each member present

45 would be issued a ballot, and they could vote for each of the open seats. Mr. Urbancic noted
46 that for members issued proxies to represent other members, they would fill out one ballot and
47 fill in the proxy information on the ballot and submit the proxy to the District Manager with
48 their ballot. Mr. Urbancic noted further that the two supervisors receiving the most number of
49 votes would be elected to a four year term, while the one receiving the least amount of votes
50 would be elected to a two year term.

51 Mr. Carter passed out ballots and pens to the present membership. After all ballots were
52 completed, Mr. Carter collected the ballots and counted the totals with Mr. Urbancic.

53

54 **Ballot Tabulation**

55 Mr. Carter and Mr. Urbancic returned from tabulating the cast ballots and Mr. Carter noted
56 that Mr. Jay Rosen of 1084 Blue Hill Creek Drive received 11 votes, Mrs. Luanne Kerins of 1229
57 Blue Hill Creek Drive received 11 votes and Mrs. Terri Stanton-Clement of 1248 Blue Hill Creek
58 Drive received 9 votes. Mr. Rosen and Mrs. Kerins would serve four year terms and Mrs.
59 Stanton-Clement would serve a two year term.

60 Following the election of the open seats, Mr. Carter provided an oath of office for each newly
61 elected supervisor to read and recite. Mr. Rosen, Mrs. Stanton-Clement and Mrs. Kerins recited
62 the oath of office and completed the form. Mr. Urbancic received the signed forms and noted
63 he would return the notarized forms to the District Management office.

64

65 **Landowners' Questions or Comments**

66 No Landowners' Questions or Comments were made at this time.

67

68 **ADJOURNMENT**

69 The meeting was then adjourned at 8:55 AM on a Motion by Mrs. Schewitz and a second by
70 Mrs. Sprague. The motion was passed unanimously.

1
2 **Key Marco Community Development District**
3 **Board of Supervisors Regular Meeting**
4 **November 20, 2024**

5 **Appearances**

6 Mary Beth Schewitz, Chair
7 Luanne Kerins, Co-Chair
8 Terri Stanton
9 Jennifer Sprague
10 Jay Rosen

11 **Also Present**

12 Joshua Carter, District Manager
13

14 **CALL TO ORDER/ROLL CALL**
15

16 The meeting was called to order by the Co-Chair at 9:00 AM following the Landowners'
17 meeting, and it was noted that five supervisors were in attendance constituting a quorum.
18

19 **Approval of Agenda**
20

21 On a voice vote by Ms. Schewitz and a second by Ms. Sprague the meeting agenda was
22 approved unanimously.
23

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25 **Public Comments**
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28 No public comments were made at this time.
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31 **Approval of Minutes**

32 A. October 16, 2024 Regular Meeting Minutes

33 On a voice vote by Ms. Schewitz and a second by Ms. Kerins, the October 16, 2024 regular
34 meeting minutes were approved unanimously.
35
36

37 **Old Business**

38 A. Bridge Solar Navigation Lighting Update

39 Mr. Carter noted that following the October 16, 2024 meeting, Mr. Rosen had identified
40 a solar powered tube light designed to replace standard bridge navigation lights. Mr.
41 Carter noted that the light fixture utilizes a tube fixture mounted either by pipe mount
42 or flat mount the to the bridge structure with a solar panel on top and navigation light
43 on bottom at the same position as a standard bridge navigation light. Mr. Carter noted

44 that the estimated price provided by the manufacturer for the light fixture and mount
45 was quoted at \$1,940 per light. Mr. Carter noted that there were a total of four
46 navigation lights at Key Marco Bridge and additional costs would be incurred for
47 installation costs. Mr. Rosen further noted that the lights offered easy maintenance and
48 bulb replacement, noting that the wire tether ran from the light at the bottom of the
49 fixture to the top, allowing for easy replacement of the bulb and modular replacement
50 of the solar panel. Mr. Carter noted that he would investigate the estimated installation
51 cost of the lights and follow up with the Board of Supervisors in the February Meeting.

52
53 **New Business**

54 A. Resolution 2025-01 – Canvassing Resolution

55 Mr. Carter presented Resolution 2025-01 to the board of supervisors for certifying and
56 canvassing the 2024 election results. Mr. Carter noted that following the Landowners’
57 meeting and election, the canvassing results of Mr. Rosen and Ms. Kerins receiving 11
58 votes and Ms. Stanton-Clement receiving 9 votes, resulting in Mr. Rosen and Ms. Kerins
59 serving four year terms, with Ms. Stanton-Clement serving a two year term.

60
61 On a voice vote by Ms. Schewitz and a second by Ms. Sprague, Resolution 2025-01 for
62 Canvassing and Certifying the 2024 Board of Supervisors election was approved unanimously.

63
64 B. Resolution 2025-02 – Resolution Appointing Officers

65 Mr. Carter presented Resolution 2025-02 for the purpose of designating officer
66 positions for the standing and elected Supervisors of Key Marco Community
67 Development District. After discussion, Ms. Schewitz volunteered to remain as Chair,
68 Luanne Kerins volunteered to remain as Vice Chair. Ms. Sprague volunteered to serve as
69 Treasurer. Ms. Stanton and Mr. Rosen would serve as Supervisors and Mr. Carter as
70 Secretary.

71
72 On a voice vote by Ms. Schewitz and a second by Ms. Kerins, Resolution 2025-02 for appointing
73 officers of Key Marco Community Development District was approved unanimously.

74
75 C. Acceptance of Special Districts Performance Measures and Standards Reporting

76 Mr. Carter noted that following the October meeting of Key Marco Community
77 Development District, the Supervisors would be required to vote to adopt performance
78 measures and standards. Mr. Carter presented the draft of the performance measures
79 from the October meeting and asked if the supervisors had any revisions they would
80 seek to have made. The draft Performance Measures Document which included three
81 categories of measures: Community Communication and Engagement, Infrastructure
82 and Facilities Maintenance and Financial Transparency and Accountability. Mr. Carter
83 noted that for Community Communication and Engagement, the goals were as follows:
84 Public Meetings Compliance, Notice of Meetings Compliance and Access to Records
85 Compliance. For Infrastructure and Facilities Maintenance as follows: Natural Disaster
86 Preparation and Response, District Drainage System and Catch Basin Maintenance and

87 District Infrastructure and Maintenance Inspection Schedule. For Financial Transparency
88 and Accountability: Annual Budget Preparation, Financial Reports and Annual Financial
89 Audit. Mr. Rosen asked if it would make sense to add a defects list to be created as part
90 of Goal 2.3 regarding District Infrastructure Maintenance and Inspection Schedule. Mr.
91 Carter noted that this would be something of value to develop and have for the District
92 but deferred to Mr. Urbancic as to whether this would be of value to include as part of
93 the performance measures. Mr. Urbancic noted that while there would be nothing
94 wrong with implementation of a defects list for maintenance tracking, it would not be of
95 value to include as part of the performance measures and standards for Key Marco
96 Community Development District and encouraged the Board of Supervisors to keep the
97 items simple and more closely aligned to standard procedural requirements of the
98 District and special districts in general. Mr. Urbancic noted further that under goal 1.2,
99 Notice of Public Meetings, the measurement line should be amended from publishing in
100 local advertisement to publishing in publicly accessible County Public Notices website as
101 part of the change in notice procedure initiative. No further revision suggestions were
102 made and the draft performance measures and standards reporting were put up for a
103 vote for adoption.
104

105 On a voice vote by Ms. Schewitz and a second by Ms. Sprague, the Performance Measures and
106 Standards Reporting for Key Marco Community Development District were approved as
107 amended unanimously.

- 108
- 109 D. Acceptance of Updated Management and Facilities Maintenance Agreements
110 Mr. Carter noted that following the October meeting of Key Marco Community
111 Development, asked if the Board of Supervisors had any comments or questions
112 regarding the updated draft agreements between the District and Key Marco
113 Community Association for maintenance and facilities management. Mr. Carter noted
114 that as a reminder, the agreements had been in place previously and were only being
115 updated at the request of the auditor following the Fiscal Year 2023 Audit. Mr. Carter
116 noted that the drafts presented for adoption had been put together by District Counsel
117 and included updated required language around anti-human trafficking laws and other
118 procedural requirements but were materially unchanged from the prior agreements.
119 Mr. Carter noted that once adopted, the agreements would need to be agreed to by Key
120 Marco Community Association for full adoption.
121

122 On a voice vote by Ms. Schewitz and a second by Ms. Kerins, the Management Agreement for
123 Key Marco Community Development District was approved as drafted unanimously.

124

125 On a voice vote by Ms. Schewitz and a second by Ms. Sprague, the Facilities Maintenance
126 Agreement for Key Marco Community Development District was approved as drafted
127 unanimously.
128
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130 E. Resolution 2025-03 – Authorizing Publication of Legal Advertisements

131 Mr. Carter noted that the Collier County Legal Advertisement site had been soft-
132 launched and notices were published for the District’s November meeting in tandem
133 with the current notice procedure through Naples Daily News. Mr. Carter noted that the
134 site allowed for much easier publication of notices at a fixed cost of \$50 rather than line
135 pricing through Naples Daily News. Mr. Carter noted that a typical notice cost currently
136 totals to about \$300 for a regular meeting, increasing for meetings requiring multiple
137 notice runs such as the budget hearing and Landowners’ Meeting. Mr. Carter noted that
138 the site allows for public users to specify the entity type they are seeking notices for,
139 allowing the public search Special District Notices specifically and search for Key Marco
140 CDD itself. Mr. Urbancic noted that in order to move the District’s public notices away
141 from Naples Daily News to the publicly accessible site, the District would first need to
142 pass a resolution to authorize the publishing of notices on the publicly accessible site.
143 Mr. Carter presented Resolution 2025-03 to the Board of Supervisors to authorize the
144 publication of legal advertisements on the Collier County publicly accessible site. Mr.
145 Urbancic noted that once passed, it would be required that a notice be published in the
146 Naples Daily News letting the public know that future notices would be made on the site
147 and he would send Mr. Carter a template to utilize for this notice. Mr. Urbancic noted
148 that once completed, the District could utilize the new site for notices and would need
149 to once a year, publish a notice in the Naples Daily News specifying that notices would
150 be published to the publicly accessible site.

152 On a voice vote by Ms. Schewitz and a second by Ms. Sprague, the Facilities Maintenance
153 Agreement for Key Marco Community Development District was approved as drafted
154 unanimously.

156 F. Acceptance of Bridge Sidewalk and Concrete Column Painting Proposal

157 Mr. Carter presented two estimates for the bridge sidewalk and concrete column
158 painting project from the vendors Al’s Painting Plus to the total amount of \$15,000 and
159 G.W. Fishell to the total amount of \$14,800. Mr. Carter noted that each estimate
160 followed the specifications outlined on the original bridge rail and sidewalk painting bid
161 sheet. Ms. Schewitz noted that Al’s Painting Plus was the vendor that completed the
162 bridge rail painting and performed quality work on the project. Mr. Carter agreed and
163 noted that it would be of great value to have the same vendor on both projects for any
164 future maintenance or repairs to the work performed over the past two fiscal years,
165 stating that Al’s Painting had come out earlier in the fiscal year to correct a segment of
166 the bridge rail paint that had developed an air bubble. Ms. Schewitz stated that she
167 would prefer to move forward with Al’s and suggested that it be asked if they can
168 amend their pricing to match the price of the bid from G.W. Fishell. Mr. Carter noted
169 that he would be happy to ask for a reduced price of \$14,800 and asked if there be a
170 motion to move forward with the acceptance of the proposal from the board of
171 supervisors. Mr. Carter noted that the work could be scheduled for early 2025 following
172 the 2024 Holiday Season to avoid disruptions to the community roadways during the
173 high traffic season.

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On a voice vote by Ms. Schewitz and a second by Ms. Stanton-Clement, a motion to accept the proposal for the bridge sidewalk and concrete column project from Al's Painting Plus, pending the acceptance of a price reduction to \$14,800 was approved unanimously.

Attorney Report

Mr. Urbancic stated that as a reminder, all supervisors needed to complete the ethics training by end of year.

Engineer Report

A. Acceptance of Bridge Inspection Proposal

Mr. Tryka (Via Speakerphone) noted that the bi-annual bridge inspection would need to be completed in 2025 and presented a proposal for the inspection to the total amount of \$8,910 from Arcos Bridge. Mr. Tryka noted that similar to past reports, the inspection would provide a list of items to be addressed as part of bridge maintenance and budgetary figures with timelines to have the items addressed.

On a voice vote by Ms. Schewitz and a second by Ms. Sprague, a motion to accept the proposal for the bridge inspection from Arcos Bridge to the total cost of \$8,910 was approved unanimously.

Supervisors' Requests

Mr. Rosen made a request that the sidewalk at the community entrance was visibly sinking and showing cracking on many of the slabs. Mr. Rosen noted further that the curb alongside the resident entrance appeared to be lifted or the pavers sinking and asked if both items could be addressed. Mr. Carter noted that the sidewalk would likely be a smaller project and easy to address, while the curb issue may require more significant investment and work to complete. Mr. Carter noted that he would reach out for pricing on each item and determine if they fall under the responsibility of the District or community association.

District Manager's Report

A. Acceptance of unaudited financials month-end October 31, 2024

Mr. Carter presented the unaudited financial statements for month-end October 31, 2024 to the board of supervisors.

Mr. Carter noted that the Balance showed a total cash balance of \$900,272.24. On the Profit and Loss, Mr. Carter highlighted the interest income at \$1,217, above the budgeted monthly total of \$833. In the expense section, Mr. Carter noted the line Insurances – to a total cost \$49,020 for the for the 2024-2025 insurance premium renewals. Mr. Carter highlighted the Hurricane Contingency expense of \$2,840 for the Hurricane Milton debris removal.

On a voice vote by Ms. Schewitz and a second by Ms. Stanton-Clement, a motion to accept the unaudited financial statements for month-end October 31, 2024 was approved unanimously.

217 B. Annual Catch Basin Cleaning Completion Report
218 Mr. Carter noted that as part of the FY 2024-2025 budget and planning process, the
219 annual catch basin cleaning and inspection was completed by the vendor Earthview in
220 November. Mr. Carter noted that all drains on District property serving the roads and
221 rights-of-way were cleaned and operational following the stress test of Hurricanes
222 Helene and Milton. Mr. Carter noted that he was happy to report that the community
223 functioned as intended and kept roadway flooding from occurring once storms
224 dissipated in the area. Mr. Carter noted that swale area grass saw salt-water intrusion
225 because of the storms, but the drainage system held up well and is properly functioning
226 following the cleaning and inspections.

227
228 **Public Comments**

229 No Public Comments were received at this time.

230

231 **ADJOURNMENT**

232 The meeting was then adjourned at 9:50 AM on a motion by Ms. Schewitz and a second by Ms.
233 Kerins. The motion was passed unanimously.

January 6, 2025

Kevin Guthrie, Director
Florida Division of Emergency Management
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399

Joshua Carter, Manager
Key Marco Community Development District
2323 San Marco Road
Marco Island, Florida 34145

Reference: FEMA-4673-DR-FL
Key Marco Community Development District
PA ID: 021-UDB4K-00
First Appeal, Grants Manager Project 703839/Project Worksheet 3874

Dear Director Guthrie and Joshua Carter:

This is in response to a letter from the Florida Division of Emergency Management (Recipient) dated June 12, 2024, which transmitted the referenced first appeal on behalf of the Key Marco Community Development District (Applicant). The Applicant is appealing the U.S. Department of Homeland Security's Federal Emergency Management Agency's (FEMA) denial of funding in the amount of \$47,720.00 for debris clearance and removal operations. The appeal is denied as explained below and in the enclosed analysis.

The Applicant has not demonstrated that, as a Community Development District, its facilities provide unrestricted access to the general public. Additionally, while the Applicant may have monitored its debris removal operations and provided monitoring documentation, the facilities from which debris was removed are considered private roads, and therefore, debris removal operations are not in the public interest. This letter constitutes the official notification of this determination to the Applicant.

Under the Robert T. Stafford Disaster Relief and Emergency Assistance (Stafford) Act and applicable regulations and policies, the Applicant may elect to appeal this first appeal decision.¹ The appeal must be submitted electronically via the FEMA Grants Portal/Grants Manager System (GM).² If the Applicant elects to submit a second appeal, it must: 1) contain documented justification supporting the Applicant's position, 2) specify the monetary figure in dispute, and 3) cite the provisions in federal law, regulation, or policy with which the Applicant believes the initial action was inconsistent.

¹ See Robert T. Stafford Disaster Relief and Emergency Assistance Act § 423, Title 42, United States Code § 5189a (2018); Title 44 of the Code of Federal Regulations § 206.206 (2021); and *FEMA Public Assistance Appeals and Arbitration Policy*, FP 104-22-0001 (Feb. 24, 2022) for a full description of appeal rights and requirements.

² For further guidance on submitting an appeal through GM, please see The Appeals Process tutorial in Grants Portal [[Grants Portal - Appeals - YouTube](#)].

The Applicant must submit the second appeal electronically to the Recipient no later than 60 days from the date of this first appeal decision. The Recipient's transmittal of that appeal, with recommendation, must be submitted to the Assistant Administrator for the Recovery Directorate electronically via GM within 120 days from the date of this first appeal decision.

Alternatively, in lieu of a second appeal, an arbitration process is available to any applicant meeting the statutory criteria pursuant to Section 423(d) of the Stafford Act. Please consult Title 44 of the Code of Federal Regulations (C.F.R.) § 206.206(b)(3) and 48 C.F.R. part 6106 for arbitration eligibility and procedural requirements.

If the Applicant elects not to submit a second appeal or request for arbitration within 60 days from the issuance of this decision, this is the final agency determination on the matter, and the Applicant will no longer be able to appeal or arbitrate the matter.

Sincerely,



Robert D. Samaan
Regional Administrator

Enclosures:

Appeal Analysis: FEMA-4673-DR-FL, *Key Marco Community Development District*, GMP
703839/PW 3874
Administrative Record Index

FIRST APPEAL ANALYSIS
FEMA-4673-DR-FL
Key Marco Community Development District, PA ID: 021-UDB4K-00
Grants Manager Project 703839/Project Worksheet 3874
Public Interest, Debris Disposal and Monitoring, Private Property Debris Removal

Background

During the incident period of September 23 to November 4, 2022, Hurricane Ian made landfall on the west coast of Florida with 155 mile per hour winds, a catastrophic storm surge, and more than 20 inches of rain that caused major flooding. The storm spent many hours crossing Florida before it emerged off the east coast. The President declared the event a major disaster, FEMA-4673-DR-FL, on September 29, 2022.

Key Marco Community Development District (Applicant) is a planned unit development or a Community Development District (CDD) in Collier County, Florida. The Applicant is an independent, special-purpose local government providing specific services to property owners within the Key Marco CDD. The CDD is a gated 500-acre community surrounded by nature preserves. The CDD has the authority to exercise powers to finance, plan, acquire, construct, and equip certain systems including roadways, access control, street lighting, water management, landscaping, and irrigation within the community.¹

The Applicant claimed \$47,720.00 for Category A Debris Removal operations. The work was performed by contract for vegetative debris removal from September 29, 2022, through November 21, 2022. FEMA prepared Grants Manager Project 703839 to document the claimed work and costs.²

On March 14, 2024, FEMA issued a Determination Memorandum (DM) denying all \$47,720.00 in claimed costs.³ The DM stated that the CDD is not open to or does not provide a service to the general public and, therefore, its facilities were ineligible for Public Assistance (PA) funding.⁴ Specifically, FEMA concluded that the Applicant's roadways are not regularly used by the public, community roadways are gated, a fee is charged to non-residents for access, and the roadways provide access to amenities that are exclusive to residents within the community⁵. Further, the DM noted that the Applicant did not monitor all contracted debris removal operations as required by FEMA policy and therefore the claimed costs were ineligible.⁶

First Appeal

¹ Key Marco Community Development District (KMCDD), <https://www.keymarcocdd.com> (last visited Nov. 25, 2024).

² Grants Manager Project (GMP) 703839, FEMA-4673-DR-FL, KMCDD [hereinafter *GMP 703839*].

³ Determination Memorandum (DM) from Infrastructure Branch Director, FEMA to Director, Florida Division of Emergency Management (FDEM) and Manager, KMCDD (signed, uploaded, and viewed in Grants Manager Mar. 14, 2024) [hereinafter *DM*].

⁴ *DM*, at 4.

⁵ *Id.*

⁶ *DM*, at 4-5.

The Applicant submitted a first appeal to the Florida Division of Emergency Management (Recipient) on May 8, 2024, requesting reinstatement of the \$47,720.00 for debris removal operations.⁷ In its appeal, the Applicant asserts that:

- Debris removal was in the public interest in accordance with the Robert T. Stafford Disaster Relief and Emergency Assistance Act § 407, Title 42 of the United States Code § 5173, and Title 44 of the Code of Federal Regulations § 206.224.
- Although the community is gated, it is open to the general public.
- The roads and rights-of way in Key Marco are not private roads but public roads owned by the Applicant.
- The general public is charged a road use fee to access the CDD's roadways as allowed through Florida Statutes.
- The Homeowner's Association facilities (fitness center, marina, and tennis courts) are not located on Applicant owned property and the Applicant has no authority to allow or deny public access.
- Each year approximately 1,000 members of the public enter Key Marco to utilize the CDD's roadways for cycling, wildlife viewing, historical tourism, and to attend public events such as the Tour De Marco bike ride.
- The debris removal operations were properly monitored.

With its appeal, the Applicant provided debris pile photos, GPS coordinates for debris locations, and a monitoring log⁸.

The Recipient transmitted the Applicant's first appeal to FEMA on June 12, 2024, recommending approval.⁹

Discussion

Debris Removal/Public Interest

FEMA may provide PA funding to a local government for emergency work, including Emergency Protective Measures and debris removal.¹⁰ Eligible local governments include special districts, such as a CDD.¹¹ CDDs generally meet the requirement of serving the public based on the same criteria used for Private Nonprofits (PNP).¹² The applicant must own or operate an eligible facility that provides a critical service, defined as education, utility, emergency, or medical; or a noncritical but essential social service to the general public.¹³ If a

⁷ First Appeal Letter from KMCDD, to Director FDEM (May 8, 2024) [hereinafter *First Appeal*].

⁸ *First Appeal*, Attachments, Debris Coordinates; Debris Photos; and Hurr Ian Cleanup Log 2022.

⁹ Recipient Transmittal Letter from Bureau Chief of Recovery, FDEM, to Regional Administrator, FEMA Region 4 (dated and received June 12, 2024).

¹⁰ Robert T. Stafford Disaster Relief and Emergency Assistance (Stafford) Act §§ 403(a)(3), 407, Title 42 United States Code (U.S.C.) §§ 5170b(a)(3), 5173 (2019).

¹¹ Stafford Act § 102(8); Title 44 of the Code of Federal Regulations (C.F.R.) §§ 206.2(a)(16), 206.222(a) (2021); *Public Assistance Program and Policy Guide*, FP 104-009-2, at 42-43 (June 1, 2020) [hereinafter *PAPPG*].

¹² *PAPPG*, at 43.

¹³ *Id.*

facility maintained by a CDD is not open to the general public or does not provide a service to the general public, the facility is ineligible.¹⁴

Further, FEMA defines private roads as roads that are not owned or operated by or otherwise the legal responsibility of a federal or SLTT entity (including orphan roads, roads in gated communities, homeowners' association roads, etc.).¹⁵ If the public has unrestricted access (no locks, gates, or guards) and frequently uses the private road, then removal and disposal of debris is in the public interest and the applicant is not required to submit documentation demonstrating the debris removal is in the public interest.¹⁶ It does not include removal and disposal activities from private roads in areas with restricted access (roads behinds locks, gates, or guards) or private roads that are unrestricted but rarely used by the public.¹⁷ The applicant must provide further documentation to establish that removal is in the public interest in these areas.¹⁸

Here, the Applicant states that its roads are accessible and open to the general public.¹⁹ However, the access is restricted by physical, operational, and financial barriers, which include: a single entry/exit gate and guardhouse, a fee for entrance for non-members, and hours of operation for entry.²⁰ FEMA policy defines these roads as private roads in relation to debris removal operations.²¹ Further, the amenities within the community that the CDD's roads provide access to are for the exclusive use of community members and their guests; the general public is not permitted to use these amenities. As such, the roads primarily exist to serve the community members and the roads do not provide unrestricted access to the general public.²² Therefore, the removal of debris from the CDD roads is ineligible as the facilities are private roads and the community is not open to, or does not serve, the general public.

Debris Monitoring

FEMA is authorized to provide PA funding for debris removal, clearance, and disposal when it is in the public interest because it is necessary to eliminate an immediate threat to lives, public health and safety; eliminate immediate threats of damage to improved public or private property; or ensure economic recovery, as a result of the disaster.²³ CDDs generally meet the requirement of serving the public based on the same criteria used for PNPs.²⁴ For PNPs, eligible debris removal is limited to that associated with an eligible facility, including debris on the property of the eligible facility.²⁵ Non-federal entities, including PNP applicants, must maintain oversight to

¹⁴ *PAPPG*, at 56.

¹⁵ *PAPPG*, at 108.

¹⁶ *PAPPG*, at 108-109.

¹⁷ *PAPPG*, at 109.

¹⁸ *Id.*

¹⁹ *First Appeal*, at 3.

²⁰ *Id.*; *See also* GMP 703839, Documents, Resolution and Rule for Road User Rate (uploaded Apr. 3, 2023).

²¹ *PAPPG*, at 108.

²² FEMA Second Appeal Analysis, *Village Center Community Development District*, FEMA-4337-DR-FL, at 4 (Sept. 16, 2020); FEMA Second Appeal Analysis, *Sumter Landing Community Development District*, FEMA-4337-DR-FL, at 3 (Aug. 28, 2020).

²³ Stafford Act § 407(a), 42 U.S.C. § 5173(a); 44 C.F.R. § 206.224(a); *PAPPG*, at 99.

²⁴ *PAPPG*, at 43.

²⁵ *PAPPG*, at 99.

ensure that contractors perform in accordance with the terms, conditions, and specifications of their contracts.²⁶ FEMA policy requires applicants to monitor all contracted debris operations to ensure that the quantities and work claimed are accurate and eligible.²⁷ This monitoring includes documenting debris types, quantities, reduction methods, and pickup and disposal locations to establish eligibility of the work.²⁸ If the applicant does not monitor contracted debris removal operations, it will jeopardize its PA funding for that work.²⁹

Here, the Applicant provided debris types, quantities, pick and disposal locations, photographs, permitting, and a monitoring log to demonstrate the eligibility of its contracted debris removal operations. However, the facilities the debris was removed from were private roads and do not provide unrestricted access to, or serve, the general public. Therefore, while the Applicant may have adequately monitored its debris removal operations, the work was not associated with an eligible facility and therefore the claimed costs remain ineligible.

Conclusion

The Applicant has not demonstrated that, as a CDD, its facilities are open to the general public. Additionally, while the Applicant may have monitored its debris removal operations and provided monitoring documentation, the facilities from which debris was removed are considered private roads, which are not eligible for Public Assistance reimbursement. Accordingly, this appeal is denied.

²⁶ 2 C.F.R. § 200.318(b) (2022).

²⁷ *PAPPG*, at 107.

²⁸ *Id.*

²⁹ *Id.*

ADMINISTRATIVE RECORD INDEX

FEMA-4673-DR-FL

Key Marco Community Development District, PA ID: 021-UDB4K-00

Grants Manager Project 703839/Project Worksheet 3874

Doc #	No. of Pages	Project	Document Date	Document Type	From	To	Document Description/ Subject
1	2	703839	06/12/24	Letter	Recipient	FEMA	1 st Appeal Transmittal
2	4	703839	05/08/24	Letter	Applicant	Recipient	1 st Appeal Request
3	8	703839	03/13/24	Letter	FEMA	Applicant	Determination Memorandum
4	1	703839	N/D	Document	Applicant	FEMA	Appeal Attachment: Debris Coordinates
5	37	703839	N/D	Photographs	Applicant	FEMA	Appeal Attachment: Debris Photographs
6	7	703839	Multi	Document	Applicant	FEMA	Appeal Attachment: Debris Monitoring Log
7	3	703839	06/13/24	Email	FEMA	Applicant and Recipient	Receipt of First Appeal
8	11	703839	06/10/20	Agreement	Applicant	Homeowner's Association	Grants Manager (GM) Document: Community Development District and Homeowner's Association Maintenance Agreement
9	13	703839	N/D	Document	Applicant	N/A	GM Document: Resolution and Rule for Road User Rate
10	5	703839	N/D	Spreadsheet	Applicant	FEMA	GM Document: Contract Work Summary

Doc #	No. of Pages	Project	Document Date	Document Type	From	To	Document Description/ Subject
11	3	703839	09/29/22	Estimate	Contractor	Applicant	GM Document: Contract Bid Document
12	4	703839	Multi	Invoice	Contractor	Applicant	GM Document: Contract Invoice
13	1	703839	N/D	Image	Applicant	FEMA	GM Document: Disposal Locations
14	1	703839	01/12/23	Document	Applicant	FEMA	GM Document: Proof of Payment
15	1	703839	02/20/23	Letter	Contractor	Applicant	GM Document: Debris Disposal Letter
16	15	703839	10/24/22	Letter	State Agency	Contractor	GM Document: Debris Disposal Permit
End of Record							



Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
CURB-GUARDHOUSE	Guard House	Outside-North	Curbing	Curb	Guard Shack Curbing	JCR	1/5/2025	1	
ASSET DESCRIPTION Guard House - Curb					Repair or Replacement Cost				
Condition Description Curbing is lifted. Possibly from Tree Roots					Issue Repair/Replacement Cost:		\$5,000.00		
					  				
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$5,000.00		
GUARD HOUSE	Guard House	Outside-All	Paint	Paint	GUARD HOUSE	JCR	1/5/2025	2	
ASSET DESCRIPTION Guard House					Repair or Replacement Cost				
Condition Description PAINT IS DETERIORATING					Issue Repair/Replacement Cost:				
									
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$5,000.00		
LIGHT POLE-	Whiskey Creek	Outside-All	Electrical	Electrical-Cover-Plate	LIGHT POLE - WHISKEY	JCR	1/5/2025	3	
ASSET DESCRIPTION					Repair or Replacement Cost				
Condition Description Electrical Cover not installed					Issue Repair/Replacement Cost:		\$25.00		
					 				
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$5,025.00		



Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
REFLECTOR-BLUE-BLUE HILL EAST	Blue Hill Creek - East	Attic -	Roadway	Reflector - Yellow	Missing Reflector			4

ASSET DESCRIPTION Reflectors Blue Hill Creek - East

Condition Description
[Missing Reflector - 49 Total](#)

Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$2,450.00**

HOA CDD	CDD	MAINTENANCE YEAR	Complete	N	Completion Date	All Issues Replacement Cost Total	\$7,475.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
REFLECTOR-BLUE-BLUE HILL WEST	Blue Hill Creek - West	Roadway	Roadway	Refector - Blue	Missing Reflector			5

ASSET DESCRIPTION Reflectors Blue Hill Creek - West

Condition Description
[Missing Emergency Fire Hydrant Reflector - 4 Total](#)

Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$200.00**

HOA CDD	CDD	MAINTENANCE YEAR	Complete	N	Completion Date	All Issues Replacement Cost Total	\$7,675.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
REFLECTOR-BLUE-WHISKEY	Whiskey Creek	Roadway	Roadway	Refector - Blue	Missing Reflector			6

ASSET DESCRIPTION Reflectors Whiskey Creek Drive

Condition Description
[Missing Emergency Fire Hydrant Reflector - 5 Total](#)

Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$250.00**

HOA CDD	CDD	MAINTENANCE YEAR	Complete	N	Completion Date	All Issues Replacement Cost Total	\$7,925.00
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Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
REFLECTOR-YELLOW-BLUE HILL WEST	Blue Hill Creek - West	Attic	Roadway	Reflector - Yellow	Missing Reflector			7

ASSET DESCRIPTION Reflectors Blue Hill Creek - West

Condition Description
Missing Reflector - 115 Total

Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$5,750.00**

HOA CDD	CDD	MAINTENANCE YEAR	Complete	N	Completion Date	All Issues Replacement Cost Total	\$13,675.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
REFLECTOR-YELLOW-WHISKEY	Whiskey Creek	Roadway	Roadway	Reflector - Yellow	Missing Reflector			8

ASSET DESCRIPTION Reflectors Whiskey Creek

Condition Description
Missing Reflector - 155 Total

Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$7,550.00**

HOA CDD	CDD	MAINTENANCE YEAR	Complete	N	Completion Date	All Issues Replacement Cost Total	\$21,225.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
ROADWAY-GUARDHOUSE	Guard House	Outside-North	Roadway	Concrete	Concrete Paver Divider	JCR	1/5/2025	9

ASSET DESCRIPTION Guard House Roadway

Condition Description
CONCRETE DETERIORATED - CRACKED AND EXPOSED REBAR



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$500.00**

HOA CDD	CDD	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$21,725.00
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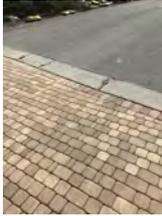


Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
ROADWAY-GUARDHOUSE	Guard House	Outside-North	Roadway	Concrete	Concrete Paver Divider	JCR	1/5/2025	10	
ASSET DESCRIPTION Guard House Roadway					  		Repair or Replacement Cost Issue Repair/Replacement Cost: \$500.00		
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$22,225.00		
ROADWAY-GUARDHOUSE	Guard House	Outside-Rear	Roadway	Concrete	Concrete Paver Divider	JCR	1/5/2025	11	
ASSET DESCRIPTION Guard House Roadway - North					 		Repair or Replacement Cost Issue Repair/Replacement Cost: \$500.00		
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$22,725.00		
ROADWAY-GUARDHOUSE	Guard House	Outside-North	Roadway	Concrete	Concrete Paver Divider	JCR	1/5/2025	12	
ASSET DESCRIPTION Guard House Roadway - North					 		Repair or Replacement Cost Issue Repair/Replacement Cost: \$500.00		
HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$23,225.00		



Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
ROADWAY-GUARDHOUSE	Guard House	Outside-North	Roadway	Concrete	Concrete Paver Divider	JCR	1/5/2025	13	
ASSET DESCRIPTION Guard House Roadway - North									
Condition Description CONCRETE DETERIORATED - CRACKED					  		Repair or Replacement Cost Issue Repair/Replacement Cost: \$500.00		

HOA_CDD [CDD](#) MAINTENANCE_YEAR 1 Complete [N](#) Completion Date All Issues Replacement Cost Total **\$23,725.00**

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
SEWER PUMP-GH	Guard House	Outside - Rear	Sewer	Grinder Pump	GUARD HOUSE SEWER	JCR	1/5/2025	14	
ASSET DESCRIPTION Guard House Sewer Pump and Controls									
Condition Description Sewage Grinder Pump Control Panel Cover missing					 		Repair or Replacement Cost Issue Repair/Replacement Cost: \$250.00		

HOA_CDD [CDD](#) MAINTENANCE_YEAR 1 Complete [N](#) Completion Date All Issues Replacement Cost Total **\$23,975.00**

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
WALL-GATE-NORTH	San Marco Wall	Outside-North	Paint	Paint	SAN MARCO WALL	JCR	1/5/2025	15	
ASSET DESCRIPTION San Marco Wall - North									
Condition Description PAINT STAINS					 		Repair or Replacement Cost Issue Repair/Replacement Cost: \$1,000.00		

HOA_CDD [CDD](#) MAINTENANCE_YEAR 1 Complete [N](#) Completion Date All Issues Replacement Cost Total **\$24,975.00**



Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GATE-NORTH	San Marco Wall	Outside-North	Doors	Door - Exterior	Wall Personnel Gate	JCR	1/5/2025	16

ASSET DESCRIPTION San Marco Wall - North

Condition Description
Paint is deteriorated



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$250.00**

HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$25,225.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GATE-NORTH	Guard House	Outside-North	Sidewalks	Sidewalk	Sidewalk from San Marco to	JCR	1/5/2025	17

ASSET DESCRIPTION San Marco Wall - North

Condition Description
CRACKED AND HEAVING SIDEWALK



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$2,500.00**

HOA_CDD	CDD	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$27,725.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
BOAT TRAILER-PARKING LOT	Boat Trailer Parking	Outside-East	Debris	Various	Various Debris	JCR	1/5/2025	18

ASSET DESCRIPTION Boat Trailer Parking Lot

Condition Description
Old Signs, Mailboxes and Trash



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$100.00**

HOA_CDD	HOA	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$27,825.00
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Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
CLUBHOUSE-REAR	Clubhouse - Rear	Outside-Rear	Landscaping	Landscaping	Rear Clubhouse Landscaping	JCR	1/5/2025	34

ASSET DESCRIPTION Clubhouse - Rear

Condition Description

Landscaping and Edging deteriorated



Repair or Replacement Cost

Issue Repair/Replacement Cost:

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$28,950.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
CLUBHOUSE-WALKWAY	Clubhouse - Rear	Outside-Rear	Sidewalks	Sidewalk	CLUBHOUSE REAR	JCR	1/5/2025	35

ASSET DESCRIPTION Clubhouse - Walkway

Condition Description

SHELLS AND EDGING DETERIORATED



Repair or Replacement Cost

Issue Repair/Replacement Cost:

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$28,950.00
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Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
FENCE-NORTH	San Marco Wall	Outside-North	Fencing	Fence - Picket	SAN MARCO FENCING ON	JCR	1/5/2025	36

ASSET DESCRIPTION San Marco Wall Fence - North

Condition Description

BENT FENCE



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$500.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$29,450.00
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Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number	
FENCE-SOUTH	San Marco Wall	Outside-South	Fencing	Fence - Section	SAN MARCO FENCING ON	JCR	1/5/2025	37	
ASSET DESCRIPTION San Marco Wall Fence - South					Repair or Replacement Cost				
Condition Description DAMAGED FENCE					Issue Repair/Replacement Cost:		\$250.00		
					 				
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$29,700.00		
GUARD HOUSE	Guard House	Outside-All	Landscaping	landscaping	Community Entry Landscaping	JCR	1/5/2025	38	
ASSET DESCRIPTION Guard House					Repair or Replacement Cost				
Condition Description Overgrown & Old - Needs replacement					Issue Repair/Replacement Cost:				
									
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$29,700.00		
LANDSCAPE-ENTRY	Guard House	Outside - rear	Landscaping	Landscaping		JCR	1/5/2025	39	
ASSET DESCRIPTION Landscaping - Community Entry					Repair or Replacement Cost				
Condition Description CLEAN UP AND RENEW PER LANDSCAPE COMMITTEE					Issue Repair/Replacement Cost:				
									
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$29,700.00		



Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LANDSCAPE-GUARDHOUSE	Guard House	Outside North	Landscaping	Plantings		JCR	1/5/2025	40
ASSET DESCRIPTION Landscaping - Guard House								
Condition Description CLEAN UP AND RENEW PER LANDSCAPE COMMITTEE								
								
						Repair or Replacement Cost		
						Issue Repair/Replacement Cost:		

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$29,700.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-NORTH	San Marco Wall	Outside North	Lighting	Light Fixture	LIGHTING FIXTURE	JCR	1/5/2025	41
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description LIGHT FIXTURE DAMAGED								
								
						Repair or Replacement Cost		
						Issue Repair/Replacement Cost: \$50.00		

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$29,750.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-NORTH	San Marco Wall	Outside North	Lighting	Electrical Cover Plate	Landscape Lighting Junction	JCR	1/5/2025	42
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description Cover not installed not fitting properly								
								
						Repair or Replacement Cost		
						Issue Repair/Replacement Cost: \$10.00		

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$29,760.00
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Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-NORTH	San Marco Wall	Outside-South	Lighting	Electrical Cover Plate	LIGHTING JUNCTION BOX	JCR	1/5/2025	43
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description							Repair or Replacement Cost	
Missing Cover							Issue Repair/Replacement Cost: \$50.00	
								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$29,810.00	
Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-SOUTH	San Marco Wall	Outside-South	Lighting	Electrical Cover Plate	LIGHTING JUNCTION BOX	JCR	1/5/2025	44
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description							Repair or Replacement Cost	
LIGHTING CONNECTION BOX EXPOSED WIRES							Issue Repair/Replacement Cost: \$10.00	
								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$29,820.00	
Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-SOUTH	San Marco Wall	Outside-South	Lighting	Light Fixture	LIGHTING FIXTURE	JCR	1/5/2025	45
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description							Repair or Replacement Cost	
Broken Fixture							Issue Repair/Replacement Cost: \$200.00	
								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$30,020.00	



Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-SOUTH	San Marco Wall	Outside-South	Lighting	Electrical Cover Plate	LIGHTING JUNCTION BOX	JCR	1/5/2025	46
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description Missing Cover					Repair or Replacement Cost			
					Issue Repair/Replacement Cost: \$50.00			



HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$30,070.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-SOUTH	San Marco Wall	Outside-South	Lighting	Light Fixture	LIGHTING FIXTURE	JCR	1/5/2025	47
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description Broken Fixture					Repair or Replacement Cost			
					Issue Repair/Replacement Cost: \$75.00			



HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$30,145.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
LOW VOLTAGE LIGHTING-XFMR-01	San Marco Wall	Outside-South	Lighting	Transformer	LIGHTING TRANSFORMER	JCR	1/5/2025	48
ASSET DESCRIPTION Low Voltage Lighting - San Marco Wall								
Condition Description TRANSFORMER LAYING OF SIDE - EXPOSED WIRES					Repair or Replacement Cost			
					Issue Repair/Replacement Cost: \$250.00			



HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$30,395.00
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Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
MARINA-SEWAGE	Marina	Dock	Electrical	Disconnect	Sewage Pump to Grinder Pump	JCR	1/5/2025	61

ASSET DESCRIPTION Marina Sewage

Condition Description
Deteriorated



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$100.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$35,595.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
ROADWAY-WHISKEY CREEK	Whiskey Creek	Outside All	Electrical	Electrical Box Cover	ELECTRICAL BOX COVER	JCR	1/5/2025	62

ASSET DESCRIPTION Whiskey Creek Drive

Condition Description
ELECTRICAL BOX COVER ON SIDE OF ROAD



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$25.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$35,620.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
ROADWAY-WHISKEY CREEK	Whiskey Creek	Outside All	Electrical	Electrical Box Cover	ELECTRICAL BOX COVER	JCR	1/5/2025	63

ASSET DESCRIPTION Whiskey Creek Drive

Condition Description
ELECTRICAL BOX COVER ON SIDE OF ROAD



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$25.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$35,645.00
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Key Marco Maintenance Items Report

Asset Number	Location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
SPORTS COURT	Clubhouse - Rear	Sports Courts	Playing Surface	Asphalt	Sports Courts	JCR	1/5/2025	64
ASSET DESCRIPTION Clubhouse - Rear					Repair or Replacement Cost			
Condition Description Sports Courts Playing Surface is deteriorated					Issue Repair/Replacement Cost: ?			
								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$45,645.00	
WALKWAY-GHN	San Marco Wall	Outside North	WALL	WALL TOP STONE	Wall Top Stone	JCR	1/5/2025	65
ASSET DESCRIPTION Guard House					Repair or Replacement Cost			
Condition Description MISSING WALL STONE					Issue Repair/Replacement Cost: \$250.00			
								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$45,895.00	
WALL-GATE-NORTH	San Marco Wall	Outside North	Sprinkler	Sprinkler Head	SPRINKLER HEAD - NORTH	JCR	1/5/2025	66
ASSET DESCRIPTION San Marco Wall - North					Repair or Replacement Cost			
Condition Description PAINT STAINS					Issue Repair/Replacement Cost: \$1,000.00			
 								
HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$46,895.00	



Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GATE-NORTH	San Marco Wall	Outside-South	Paint	Paint	SAN MARCO WALL	JCR	1/5/2025	67

ASSET DESCRIPTION [San Marco Wall - North](#)

Condition Description
Paint is stained



Repair or Replacement Cost

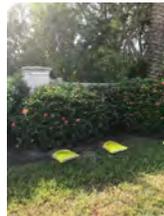
Issue Repair/Replacement Cost: **\$1,000.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$47,895.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GATE-NORTH	San Marco Wall	Outside-South	WALL TOP STONE	STONE	Wall Top Stone	JCR	1/5/2025	68

ASSET DESCRIPTION [San Marco Wall - North](#)

Condition Description
CRACKED STONE TOP TRIM



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$200.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$48,095.00
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Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GATE-SOUTH	San Marco Wall	Outside-South	Doors	Door - Exterior	Wall Personnel Gate	JCR	1/5/2025	69

ASSET DESCRIPTION [San Marco Wall - South](#)

Condition Description
Paint is deteriorated



Repair or Replacement Cost

Issue Repair/Replacement Cost: **\$250.00**

HOA CDD	HOA	MAINTENANCE YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total	\$48,345.00
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Key Marco Maintenance Items Report

Asset Number	location	Area	System	Component	Description	Identified By	Date Id'd:	Record Number
WALL-GHN	San Marco Wall	Outside North	WALL	WALL TOP STONE	Wall Top Stone	JCR	1/5/2025	70
ASSET DESCRIPTION San Marco Wall - North								
Condition Description Stone is Stained					Repair or Replacement Cost Issue Repair/Replacement Cost: \$500.00			
								
HOA.CDD	HOA	MAINTENANCE_YEAR	1	Complete	N	Completion Date	All Issues Replacement Cost Total \$48,845.00	

January 6, 2025

Prepared for:



Prepared by:



Whiskey Creek Drive over Blue Hill Creek

Bridge Inspection and Management Study Report

KEY MARCO, FLORIDA

ROLANDO CORSA, PE, CBI

ARCOS BRIDGE, INC.
8112 CHAMPIONS FOREST WAY
TAMPA, FLORIDA 33635

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Engineer’s Opinion of Probable Cost – Tab 5
Scour Evaluation – Tab 6

January 6, 2025

Edward F. Tryka III, PE
LJA Engineering, Inc.
c/o
Key Marco Community Development District
505 Whiskey Creek Drive
Marco Island, FL 34145

Sent via email to: etryka@lja.com

**RE: Whiskey Creek Drive over Blue Hill Creek
Bridge Inspection and Management Study Report
Key Marco, Florida**

Dear Mr. Tryka:

EXECUTIVE SUMMARY

The Key Marco Community Development District (CDD) requested a detailed inspection of the subject bridge. This inspection and management report serves as a valuable tool for the community to ensure sufficient financial reserves for future repairs. Arcos Bridge, Inc. (Arcos) conducted a hands-on visual inspection of the bridge located in the Key Marco community in Marco Island, Florida, on December 16, 2024. This report summarizes the inspection findings and offers future maintenance repair recommendations.



1. We inspected all visible bridge elements, taking measurements to confirm agreement with previous inspection data and documenting their condition using a rating system required by Federal Bridge Inspection procedures. The inspection of the bridge was conducted from south to north.
2. The bridge carries Whiskey Creek Drive over Blue Hill Creek and was built in 1994.
3. We assessed the condition of the exposed concrete elements using sounding techniques.
4. The structural condition of the bridge and roadway elements ranges from fair to very good.
5. While repairs are not urgent, we noted several minor issues that the CDD may consider addressing within 5 years. The noted minor non-structural deficiencies can be reassessed during future biennial bridge inspections.
6. An underwater diving inspection to assess the condition of the substructure pile foundation was not conducted. An underwater inspection was last done in 2022. We recommend including an underwater evaluation of the bridge substructure every five years moving forward.
7. Load rating calculations were unavailable. However, based on the date of construction, the live load design truck is most likely the HS-20 vehicle which consists of a 36-ton semi-trailer truck configuration. The bridge, in very good structural condition, can safely carry its design load and all legal vehicle loads allowed to travel on public roads. Future maintenance is recommended to prevent deterioration and extend its service life.
8. Based on measured quantities and FDOT's 2024 Historical Unit Costs for material and labor, the estimated cost of the recommended minor repairs within the next 5 years is approximately **\$115,227**. Note, the major cost component relates to the milling and replacement of the asphalt, replacement of the expansion joints and concrete headers.

BRIDGE DESCRIPTION

The bridge carries Whiskey Creek Drive over Blue Hill Creek. The bridge was constructed circa 1994. The reputed owner of the bridge is the Key Marco Community Development District (CDD). The bridge spans Blue Hill Creek which is designated as a navigable waterway by the US Army Corps of Engineers. The two-lane bridge has 13 spans at a 38'-6" spacing with an approximate total length of 500'-6". The approach slabs are each 20 feet long. The superstructure consists of nine (9) adjacent, prestressed concrete slab beams that are 3'-8" wide. The slab beams are post tensioned transversely. The travel way width is 24 feet and the out-to-out width of the bridge is 34 feet. The wearing surface consists of 2" of asphalt concrete with a sidewalk on the west side of the bridge and a narrow safety walk on the east side. The sidewalks consist of precast concrete panels that form a utility chase. Utilities owned by the City of Marco Island are carried in these utility chases. The deck expansion joints consist of elastomeric concrete headers with poured silicone seals. The traffic railings are a custom designed system made up of concrete pilasters and steel rails. The substructure consists of cast-in-place concrete bents supported on pre-stressed concrete piles. Bridge maintenance repairs were performed under the supervision of Bridging Solutions, LLC in the spring of 2015 to address some of the deficiencies documented in the 2012 inspection report.



Bridge Aerial (Looking East)



Bridge Underside (Looking NE)

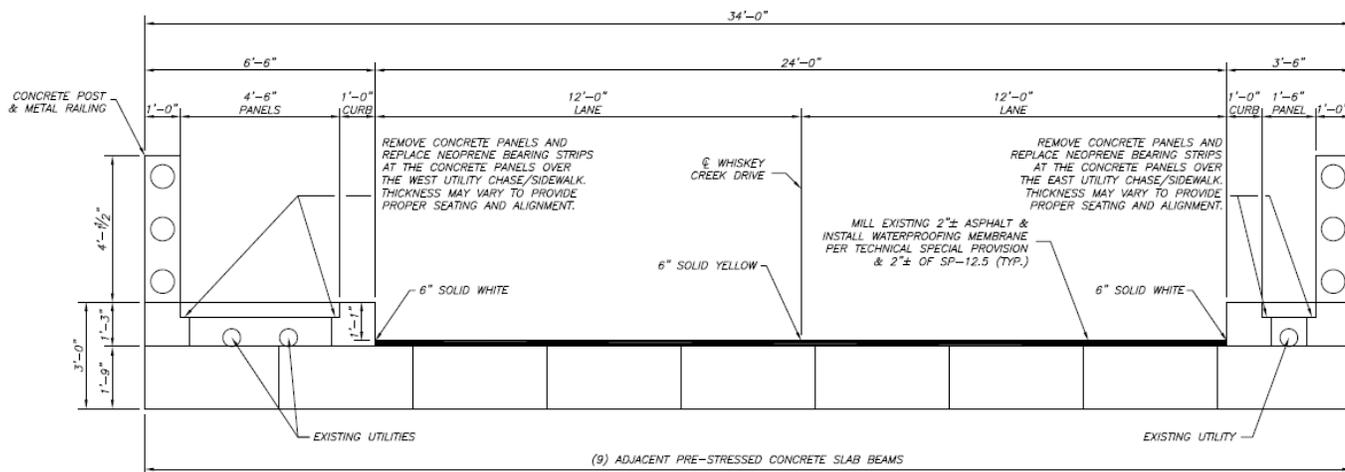
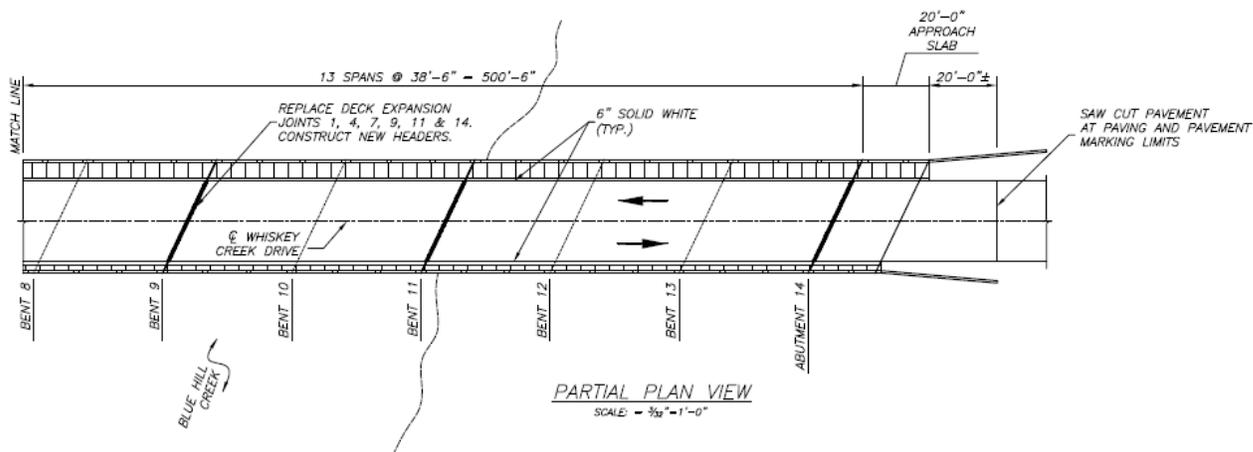
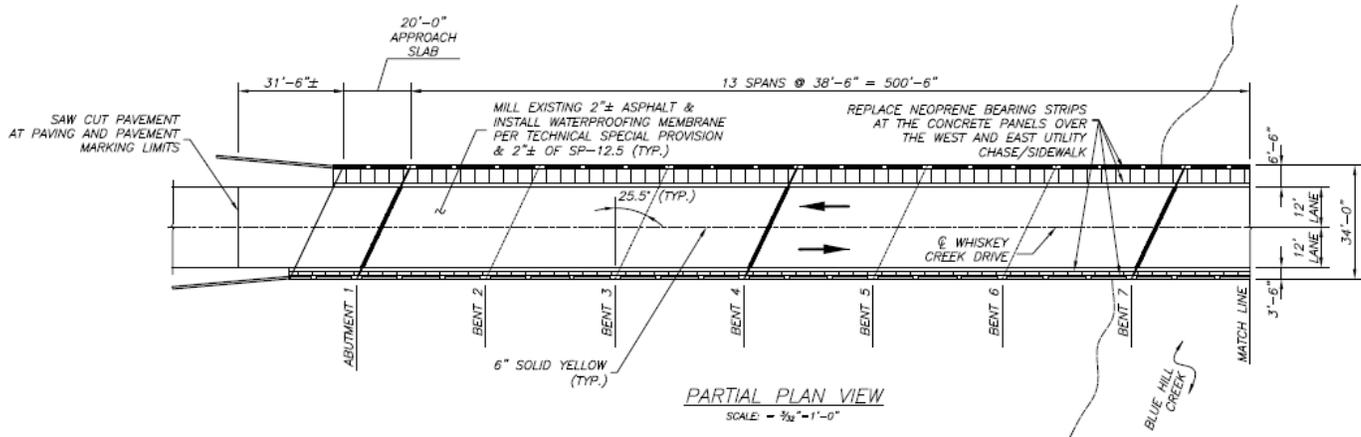


Bridge Piles (Looking NW)



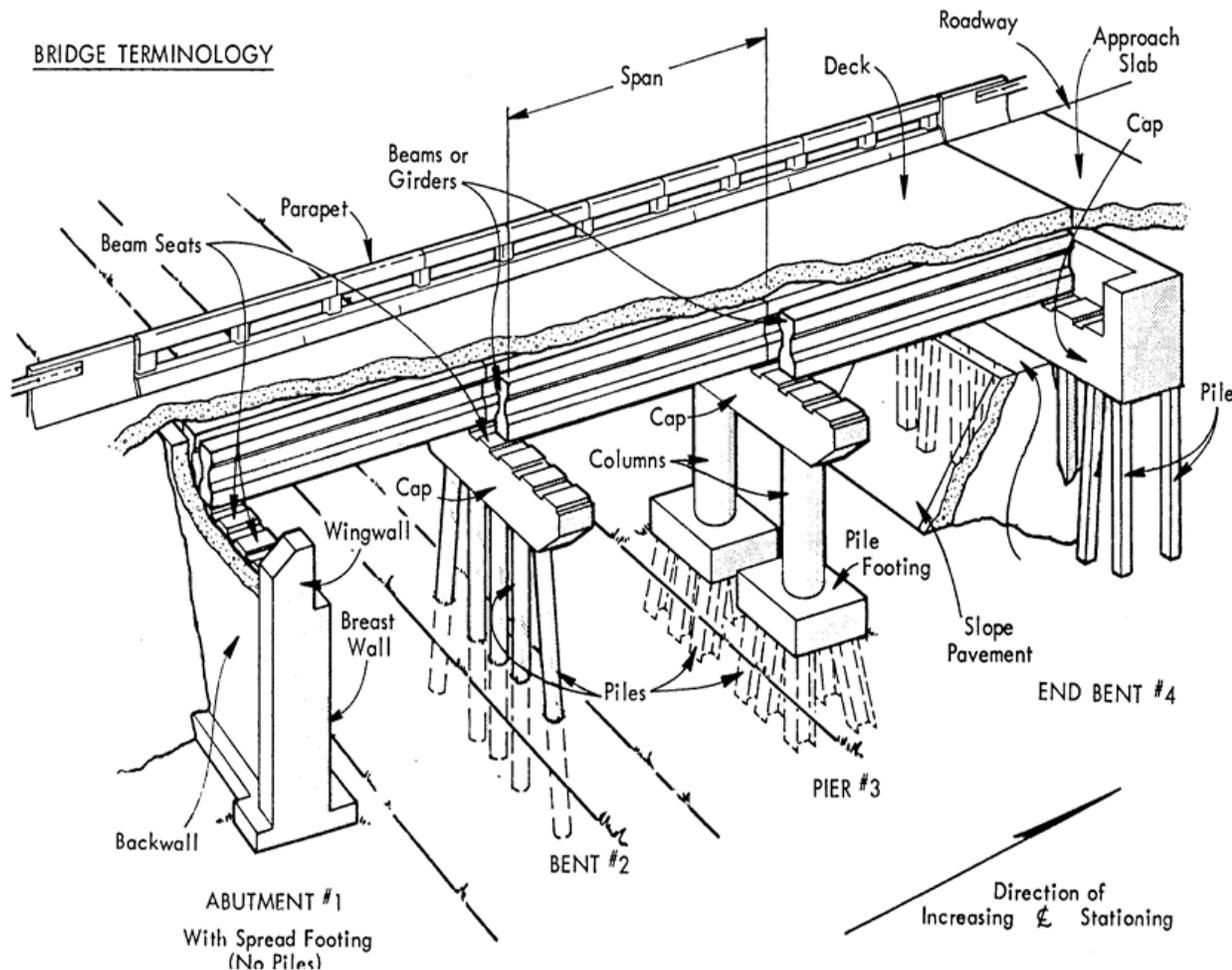
Bridge Roadway (Looking North)

A *Site Map* showing the location of the bridge is included in the Appendix under **Tab 1**. A summary of the *Condition Rating Definitions* is included in the Appendix under **Tab 2**. The *Bridge Inspection Field Report* developed during our inspection is included in the Appendix under **Tab 3**. A sampling of some of our *Bridge Inspection Photos* is included in the Appendix under **Tab 4**. The itemized *Engineer's Opinion of Probable Cost* is included in the Appendix under **Tab 5**. The estimated costs are for planning purposes only. The actual costs would be determined by contractors' bids. A *Scour Evaluation* is included in the Appendix under **Tab 6**.



INSPECTION FINDINGS AND RECOMMENDATIONS

The following schematic shows the typical bridge components that will be discussed in this report:



Abutments and Wingwalls – There are isolated areas that have minor cracking and spalling of the concrete surfaces. Abutment 1 cap has a full height hairline vertical crack under Slab Unit 1-9. The top edge of Abutment 1 cap has spalls up to 10"x5"x1" under Slab Units 1-5, 1-6, 1-7 and 1-9 (See [Photo 11](#)). Both abutments show evidence of expansion joint leakage (See [Photo 12](#)). These deficiencies do not warrant immediate attention; however, they were included in the recommended repairs within 5 years when the milling of the asphalt over the bridge is done.

Pier Caps – No deficiencies noted.

Piles – This element represents the prestressed concrete piles at the intermediate bents. The NW corner of Pile 6-2 has a 6"x3"x3/4" spall 2'-6" below the cap. The SW corner of Pile 6-4 has a poorly patched spall just below the cap. Pile 7-1 has a 10"x3"x3/4" spall in the NE corner, starting at the cap (See [Photo 13](#)). The NE corners of Piles 7-2 and 7-4 have spalls up to 1'-5"x5"x3/4" just above the marine growth. The east face of Pile 9-6 has a 2'x1'-6" delamination in an epoxy patch at the top of the marine growth, and vertical cracks up to 4' long x 1/32" wide, extending up from the top of the marine growth in all four faces (See [Photo 14](#)). These deficiencies do not warrant immediate attention; however, they were included in the recommended repairs within 5 years when the milling of the asphalt over the bridge is done.

Expansion Joints – The expansion joints were replaced during the 2015 repairs and are in fair condition. We noticed some cracking, rutting and delamination of the elastomeric concrete headers and deterioration and adhesion failure of the poured sealant material (See **Photos 5 through 10**). These deficiencies should be repaired within 5 years when the asphalt on the bridge is planned for replacement.

Water Channel – We documented the channel profile using drop line measurements along both sides of the bridge at the same locations that were used in the past inspections (See *Scour Evaluation* in **Tab 6** of the Appendix). The results of our measurements compared to the prior inspection and the original inspection of 2012 provides documentation that the creek bottom elevations have remained consistent. There does not appear to be any concern about erosion or scour at the bridge channel piers.

Under Water Inspection – An underwater inspection was performed in 2012 and 2022 that found very minor deficiencies. We recommend including an underwater evaluation of the bridge substructure every five years moving forward.

Roadway Approaches – The rubble riprap slope protection along the embankment slopes is in good condition.

Bridge Railings – The bridge railings are in good condition. The joint filler material in the gaps between the railing pylons is showing signs of minor deterioration. This deficiency does not warrant immediate attention but should be monitored and repairs will likely be required in the future when the condition advances.

Wearing Surface – The asphalt wearing surface was replaced in 2015 and is in good condition. We noticed some minor longitudinal cracks that appear to align with the joints in the slab beams (See **Photo 4**). Although this deficiency does not warrant immediate attention, they were included in the recommended repairs within 5 years when the expansion joints and headers will most likely require replacement.

Prestressed Slab Beams – There are isolated areas that have minor spalling of the concrete surfaces. The west edge of Slab Unit 10-7 has a 6"x4"x1" spall at Bent 11. The east edge of Slab Unit 13-3 has a patch with minor shrinkage cracking and efflorescence, approximately 9' from Bent 14. These deficiencies do not warrant immediate attention; however, they were included in the recommended repairs within 5 years when the milling of the asphalt over the bridge is done. Note, A waterproofing membrane was installed below the asphalt wearing surface in 2015 and is preventing water from leaking through the joints in the slab beams.

Utilities – The lighting fixtures are in good condition. No repair recommendations.

BRIDGE LOAD CAPACITY

Load rating calculations were not available. Based on the date of construction, the live load design truck is most likely the HS-20 vehicle which consists of a 36-ton semi-trailer truck configuration. Performing a load rating of this bridge is possible but much more expensive than if the original plans were available. A load rating is not required at this time, but if deficient conditions become apparent during a future inspection that may reduce the structural capacity of the bridge, a load rating would be required. Since the bridge is in good condition, this bridge is capable of safely carrying the design loading and all legal loads travelling the public roadways.

ESTIMATE FOR REPAIRS

Although not urgent, the recommended repairs should be planned within the next 5 years. We recommend hiring a bridge engineer licensed in the State of Florida to prepare the necessary repair plans to be used for soliciting quotes from qualified contractors at that time to determine the actual cost of the recommended repairs.

Since the recommended repairs are considered maintenance for an existing bridge, a city building permit will not be required. However, the selected contractor will be required to coordinate the maintenance of traffic, including any temporary lane closure required to conduct the work.

For planning purposes, we offer the following opinion of the probable cost for the recommended repairs of the bridge. Based on measured quantities and FDOT's current (2024) Historical Unit Costs for material and labor, the Engineer's estimated cost for the recommended repairs is approximately **\$115,227**. Note, the major cost component relates to the replacement of the asphalt and expansion joint system. All other minor deficiencies listed can be addressed during that time. The itemized *Engineer's Opinion of Probable Cost* is included in the Appendix under **Tab 5**.

Approximate costs for engineering/specifications and construction administration:

- Design Field Inspection: \$3,000
- Design Drawings and Specifications: \$7,000
- Construction Administration: \$6,000

PROTECTIVE MAINTENANCE RECOMMENDATIONS

Design Life – The design life of a concrete bridge, according to AASHTO specifications, is 75 years. This bridge has an estimated remaining design and service life of about 31 years. However, the actual service life depends on regular preventative maintenance. The remaining life estimate is based on engineering judgment, factoring in the original design life and when repairs may be needed to keep the bridge operational. Completing the recommended repairs typically extends the bridge's lifespan, and with proper maintenance, it may remain in service beyond its design life.

Future Bridge Inspections – Perform follow up inspections of the bridge every 2 years in a format similar to this inspection. We recommend performing diving inspections every 5 years. The biennial bridge inspection process facilitates the early detection of structural defects. The cost of repairs is typically much less when the deficiency is detected early, compared to the cost after the condition advances.

Bridge Cleaning, Sealing and Painting – Regular cleaning of the bridge members is necessary to remove accumulation of sand, debris, bird droppings, and other harmful material by flushing with high-pressure water jet or compressed air, sweeping, or shovel. Preventative maintenance, or periodic cleaning can prolong the service life of the bridge members. There are also numerous concrete sealers that protect the concrete from water intrusion which may be considered after a cleaning is performed. This bridge has painted metal railings which will need to be painted when the coating fails. We recommend cleaning, sealing, and painting the bridge every 10 to 15 years.

Crack and Spall Repairs – Concrete Crack and Spall Repairs - The exposed concrete surfaces of the superstructure and the substructure will likely experience additional deterioration such as cracking and spalling over time which will require crack and spall repairs. Repair to concrete surfaces is accomplished by removing deteriorated or damaged concrete and placing new concrete material. This method is used to restore the integrity of concrete surfaces that have spalls, cracks, voids, etc. The first step in the repair of any type of deterioration in concrete is complete removal of all unsound concrete. No satisfactory repairs can be made until there is clean and sound concrete to which the new concrete can be bonded. The edge of a cut out area should be undercut for deep patches to help retain the new material. Effective bonding of the new to the old concrete is usually accomplished with a bonding material and is particularly important when deep cracks require a large volume of concrete to be replaced. A grout can also be used when the form for the concrete is so inaccessible that an epoxy material cannot be applied effectively. The exposed area can be sloshed liberally with grout just prior to

placing the concrete. Concrete crack and spall repairs will likely be necessary at some future date which will be identified because of future biennial inspections.

Asphalt Wearing Surface – Replacement of the asphalt wearing surface includes removal of the existing asphalt by milling. Depending on the condition at the time, the underlying waterproofing membrane may remain in place. The asphalt wearing surface will likely need to be replaced every 10 to 15 years.

Deck Expansion Joints – Preventive maintenance of bridge deck expansion joints is vital to maintaining the serviceability and prolonging the life of a bridge. Preventive maintenance usually means cleaning the joint. Preventive maintenance is most effective if it begins when a bridge is new and continues throughout the service life. The objective of preventative maintenance for deck joints is keeping the seal securely in place and waterproof. The expansion joints on the bridge will likely need to be replaced every 10 to 15 years.

Pile Jackets – The concrete piles that support the pier caps of this bridge will eventually show signs of cracking and spalling due to the saltwater environment. Jackets are the most common type of pile protection or repair. They are used for protection of all types of piles: concrete, steel, and timber. The jacket can be for protection from abrasion damage, for repair of section loss, or for both. If the jacket is for protection only, it could consist of a liner placed around the area to be protected with a cement or epoxy grout filler pumped into the space between the pile and the liner. If the jacket is intended to repair structural damage, the jacket will provide space for new reinforcement and the space between the liner and the old pile is filled with concrete. The liner is often a premolded fiberglass stay-in-place form; however, it could also be metal or fabric. Removable forms are also used, usually with reinforced concrete jackets. The biennial inspections will detect when the installation of pile jackets will be required.

The cost to replace the bridge would be in the \$5 million range assuming a square foot cost of \$300. If no maintenance were performed, the useful life of the bridge would be reduced. If the preventative maintenance repairs discussed above are performed, this bridge could last for another 75 years or more. The recommended preventative maintenance repairs and estimated costs (in 2024 dollars) are summarized below:

- Bridge cleaning, sealing, and painting every 10 years at \$30,000
- Replace asphalt wearing surface every 10 years at \$75,000
- Replace expansion joints every 10 years at \$50,000

The CDD will need to determine how to finance the future cost of the maintenance repairs. Assuming a 3% rate of inflation, annual reserve savings of approximately \$18,000 would be required to provide for the funds to accomplish these repairs every 10 years.

The cost of follow up biennial bridge inspections would be \$9,000 every 2 years and \$3,500 every 5 years for an underwater inspection. The timing and cost of the maintenance repairs would be evaluated and updated as part of each inspection. Please contact me at 813-767-0538 if you have any questions or comments.

Regards,

Arcos Bridge, Inc.



Rolando Corsa, PE, CBI
Principal

Appendix

Site Map – Tab 1

Condition Rating Definitions – Tab 2

Bridge Inspection Field Report – Tab 3

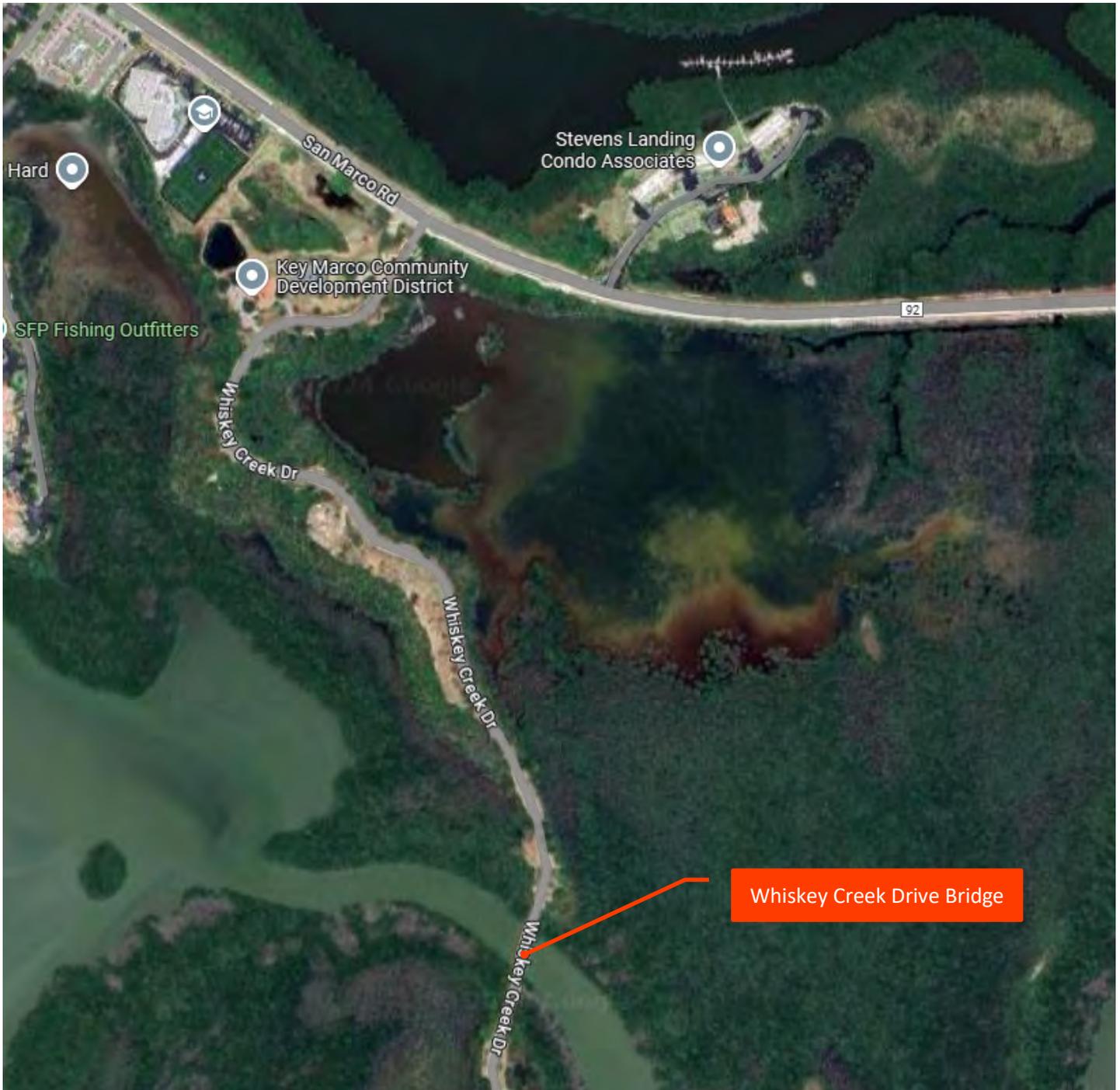
Bridge Inspection Photos – Tab 4

Engineer's Opinion of Probable Cost – Tab 5

Scour Evaluation – Tab 6

TAB 1

SITE MAP



505 Whiskey Creek Dr, Marco Island, FL 34145

TAB 2

CONDITION RATING DEFINITIONS

Rating Definitions

Deck, Superstructure, Substructure, Approach Roadway and Non-Structural Items Criteria

<u>Code</u>	<u>Description</u>
n/a	NOT APPLICABLE
9	EXCELLENT CONDITION
8	VERY GOOD CONDITION – no problems noted.
7	GOOD CONDITION – some minor problems.
6	SATISFACTORY CONDITION – structural elements show some minor deterioration.
5	FAIR CONDITION – all primary structural elements are sound but may have minor section loss, cracking, spalling or scour.
4	POOR CONDITION – advanced section loss, deterioration, spalling or scour.
3	SERIOUS CONDITION – loss of section, deterioration, spalling or scour have seriously affected primary structural components. Local failures are possible. Fatigue cracks in steel or shear cracks in concrete may be present.
2	CRITICAL CONDITION – advanced deterioration of primary structural elements. Fatigue cracks in steel or shear cracks in concrete may be present or scour may have removed substructure support. Unless closely monitored it may be necessary to close the bridge until corrective action is taken.
1	“IMMINENT” FAILURE CONDITION – major deterioration or section loss present in critical structural components or obvious vertical or horizontal movement affecting structure stability. Bridge is closed to traffic but corrective action may put back in light service.
0	FAILED CONDITION – element is out of service and is beyond corrective action.

Channel and Channel Protection Criteria

<u>Code</u>	<u>Description</u>
n/a	Not applicable. Use when bridge is not over a waterway (channel).
9	There are no noticeable or noteworthy deficiencies that affect the condition of the channel.
8	Banks are protected or well vegetated. River control devices such as spur dikes and embankment protection are not required or are in a stable condition.
7	Bank protection is in need of minor repairs. River control devices and embankment protection have a little minor damage. Banks and/or channel have minor amounts of drift.
6	Bank is beginning to slump. River control devices and embankment protection have widespread minor damage. There is minor stream bed movement evident. Debris is restricting the channel slightly.
5	Bank protection is being eroded. River control devices and/or embankment have major damage. Trees and brush restrict the channel.
4	Bank and embankment protection is severely undermined. River control devices have severe damage. Large deposits of debris are in the channel.
3	Bank protection has failed. River control devices have been destroyed. Streambed aggradation, degradation or lateral movement has changed the channel to now threaten the bridge and/or approach roadway.
2	The channel has changed to the extent the bridge is near a state of collapse.
1	Bridge closed because of channel failure. Corrective action may put bridge back in light service.
0	Bridge closed because of channel failure. Replacement necessary.

Return to Contents

TAB 3

BRIDGE INSPECTION FIELD REPORT

12/16/24
1 7

PROJECT INFORMATION

Bridge Owner Key Marco CDD

Project No. 24032

Team Leader Rolando Corsa, PE, CBI

County Collier

Signature 

Type of Inspection

P.E. Number 73191

Biennial Interim
In-Depth Special Contract

Asst. Team Leader _____

Others _____

Feature(s) Carried Whiskey Creek Drive

Feature(s) Crossed Blue Hill Creek

Number of Spans 13 Bridge Orientation S to N Year Built 1994

Superstructure Type Concrete Slab Beams AADT/Year N/A

VERTICAL CLEARANCE AND LOAD POSTINGS

On _____ ft _____ in under 12 ft 0 in Loading HS-20 (36) tons

ABUTMENTS

	Begin	End
Joints with Deck	5	5
Bearings, Anchor bolts, Pads	8	8
Bridge seat and Pedestals	-	-
Backwall	-	-
Stem (Breastwall)	6	8
Erosion and Scour	9	9
Footings	-	-
Piles	-	-
Recommendation	-	-

STREAM CHANNEL

	Begin	End
Stream Alignment	9	9
Erosion and Scour	8	8
Waterway opening	9	9
Bank Protection	8	8

WINGWALLS

	Begin	End
Walls	8	8
Footings	-	-
Erosion or Scour	8	8
Piles	-	-

APPROACHES

	Begin	End
Drainage	8	8
Embankment	8	8
Settlement	8	8
Erosion	8	8
Pavement	8	8
Guide Railing	8	8

Whiskey Creek Drive
 Blue Hill Creek

12/16/24
 2 7

Category	Type	Span 1	Span 2	Span 3
Deck Elements	Wearing Surface	7	7	7
	Curbs	8	8	8
	Sidewalks and Fascia	8	8	8
	Railing and Parapets	8	8	8
	Scuppers	8	8	8
	Gratings	-	-	-
	Median	-	-	-
	Mono. Deck Surface	-	-	-
	RECOMMENDATION	-	-	-

Superstructure	Deck Structural	-	-	-
	Primary Members	8	8	8
	Secondary Members	-	-	-
	Paint	6	6	6
	Joints	5	5	5
	RECOMMENDATION	-	-	-

Pier	Bearing, Anchor bolts and Pads	8	8	8
	Pedestals	-	-	-
	Top of Pier cap or Beam	-	-	-
	Stem Solid Pier	-	-	-
	Cap Beam	8	8	8
	Pier Columns	-	-	-
	Footings	-	-	-
	Erosion or scour	8	8	8
	Piles	8	8	8
	RECOMMENDATION	-	-	-

Utilities	Lighting Stds. and Fixtures	8	8	8
	Sign Structure	-	-	-
	Utilities and utilities supports	-	-	-
	RECOMMENDATION	-	-	-

Whiskey Creek Drive
 Blue Hill Creek

12/16/24
 3 7

Category	Type	Span 4	Span 5	Span 6
Deck Elements	Wearing Surface	7	7	7
	Curbs	8	8	8
	Sidewalks and Fascia	8	8	8
	Railing and Parapets	8	8	8
	Scuppers	8	8	8
	Gratings	-	-	-
	Median	-	-	-
	Mono. Deck Surface	-	-	-
	RECOMMENDATION	-	-	-

Superstructure	Deck Structural	-	-	-
	Primary Members	8	8	8
	Secondary Members	-	-	-
	Paint	6	6	6
	Joints	5	5	5
	RECOMMENDATION	-	-	-

Pier	Bearing, Anchor bolts and Pads	8	8	8
	Pedestals	-	-	-
	Top of Pier cap or Beam	-	-	-
	Stem Solid Pier	-	-	-
	Cap Beam	8	8	8
	Pier Columns	-	-	-
	Footings	-	-	-
	Erosion or scour	8	8	8
	Piles	8	8	5
	RECOMMENDATION	-	-	-

Utilities	Lighting Stds. and Fixtures	8	8	8
	Sign Structure	-	-	-
	Utilities and utilities supports	-	-	-
	RECOMMENDATION	-	-	-

Whiskey Creek Drive
 Blue Hill Creek

12/16/24
 4 7

Category	Type	Span 7	Span 8	Span 9
Deck Elements	Wearing Surface	7	7	7
	Curbs	8	8	8
	Sidewalks and Fascia	8	8	8
	Railing and Parapets	8	8	8
	Scuppers	8	8	8
	Gratings	-	-	-
	Median	-	-	-
	Mono. Deck Surface	-	-	-
	RECOMMENDATION	-	-	-

Superstructure	Deck Structural	-	-	-
	Primary Members	8	8	8
	Secondary Members	-	-	-
	Paint	5	5	5
	Joints	8	8	8
	RECOMMENDATION	-	-	-

Pier	Bearing, Anchor bolts and Pads	8	8	8
	Pedestals	-	-	-
	Top of Pier cap or Beam	-	-	-
	Stem Solid Pier	-	-	-
	Cap Beam	8	8	8
	Pier Columns	-	-	-
	Footings	-	-	-
	Erosion or scour	8	8	8
	Piles	5	8	5
	RECOMMENDATION	-	-	-

Utilities	Lighting Stds. and Fixtures	8	8	8
	Sign Structure	-	-	-
	Utilities and utilities supports	-	-	-
	RECOMMENDATION	-	-	-

Whiskey Creek Drive
 Blue Hill Creek

12/16/24
 5 7

Category	Type	Span 10	Span 11	Span 12
Deck Elements	Wearing Surface	7	7	7
	Curbs	8	8	8
	Sidewalks and Fascia	8	8	8
	Railing and Parapets	8	8	8
	Scuppers	8	8	8
	Gratings	-	-	-
	Median	-	-	-
	Mono. Deck Surface	-	-	-
	RECOMMENDATION	-	-	-

Superstructure	Deck Structural	-	-	-
	Primary Members	7	8	8
	Secondary Members	-	-	-
	Paint	5	5	5
	Joints	8	8	8
	RECOMMENDATION	-	-	-

Pier	Bearing, Anchor bolts and Pads	8	8	8
	Pedestals	-	-	-
	Top of Pier cap or Beam	-	-	-
	Stem Solid Pier	-	-	-
	Cap Beam	8	8	8
	Pier Columns	-	-	-
	Footings	-	-	-
	Erosion or scour	8	8	8
	Piles	8	8	8
	RECOMMENDATION	-	-	-

Utilities	Lighting Stds. and Fixtures	8	8	8
	Sign Structure	-	-	-
	Utilities and utilities supports	-	-	-
	RECOMMENDATION	-	-	-

Whiskey Creek Drive
 Blue Hill Creek

12/16/24
 6 7

Category	Type	Span 13		
Deck Elements	Wearing Surface	7		
	Curbs	8		
	Sidewalks and Fascia	8		
	Railing and Parapets	8		
	Scuppers	8		
	Gratings	-		
	Median	-		
	Mono. Deck Surface	-		
	RECOMMENDATION	-		

Superstructure	Deck Structural	-		
	Primary Members	7		
	Secondary Members	-		
	Paint	5		
	Joints	8		
	RECOMMENDATION	-		

Pier	Bearing, Anchor bolts and Pads	8		
	Pedestals	-		
	Top of Pier cap or Beam	-		
	Stem Solid Pier	-		
	Cap Beam	8		
	Pier Columns	-		
	Footings	-		
	Erosion or scour	8		
	Piles	8		
	RECOMMENDATION	-		

Utilities	Lighting Stds. and Fixtures	8		
	Sign Structure	-		
	Utilities and utilities supports	-		
	RECOMMENDATION	-		

Whiskey Creek Drive
Blue Hill Creek

12/16/24
7 7

Diving Inspection Required? YES NO
If yes, indicate year of previous diving inspection _____

Special Emphasis Inspection Required? YES NO If yes, indicate type below.

Spans

Non Redundant/Fracture Critical		
Pin and Hangers		
Fatigue Prone SEDLS (AASHTO D, E or E')		
Non-Categorized Fatigue Prone Details		
Others (Specify)		

Recommend Further Investigation? YES NO

Remarks:

Fair to Very Good condition. Expansion joints will need to be replaced in the near future. Minor spalls and cracks noted at abutments, slab beams and piles.

Field notes:

Date 12/16/24 Time of Arrival 9:00 a.m. Time of Departure 1:00 p.m.

Temp and Weather Conditions Fair, 72 degrees

Flag Issued?

Brief Reason

None

Red Structural

Yellow Structural

Safety

TAB 4

BRIDGE INSPECTION PHOTOS



PHOTO 1 – BEGIN, SOUTH APPROACH



PHOTO 2 – END, NORTH APPROACH



PHOTO 3 – TYPICAL PAINT FAILURE



PHOTO 4 – TYPICAL ASPHALT CRACKING



PHOTO 5 – EXP. JT. 1, ADHESION FAILURE, RUTTING

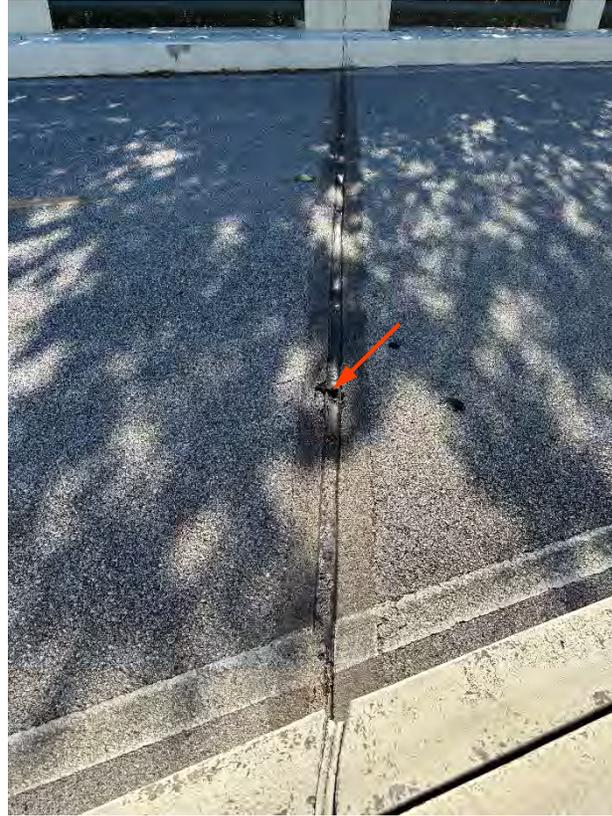


PHOTO 6 – EXP. JT. 4, ADHESION FAILURE, RUTTING

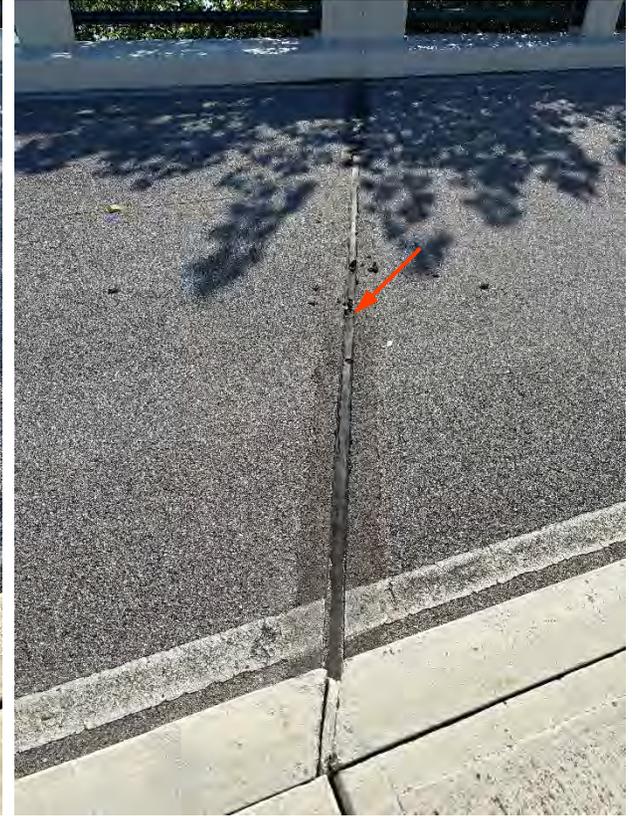


PHOTO 7 – EXP. JT. 7, ADHESION FAILURE, RUTTING



PHOTO 8 – EXP. JT. 9, ADHESION FAILURE, RUTTING



PHOTO 9 – EXP. JT. 11, ADHESION FAILURE, RUTTING



PHOTO 10 – EXP. JT. 14, ADHESION FAILURE, RUTTING



PHOTO 11 – ABUTMENT 1, EDGE SPALLS, CRACKS



PHOTO 12 – ABUTMENT 14, JOINT LEAK STAINS



PHOTO 13 – PILE 7-1, EDGE SPALL



PHOTO 14 – PILE 9-6, VERTICAL CRACKS

TAB 5

ENGINEER'S OPINION OF PROBABLE COST

ENGINEER OPINION OF PROBABLE COST



6-Jan-25

Client: Key Marco CDD

Project: Whiskey Creek Drive over Blue Hill Creek

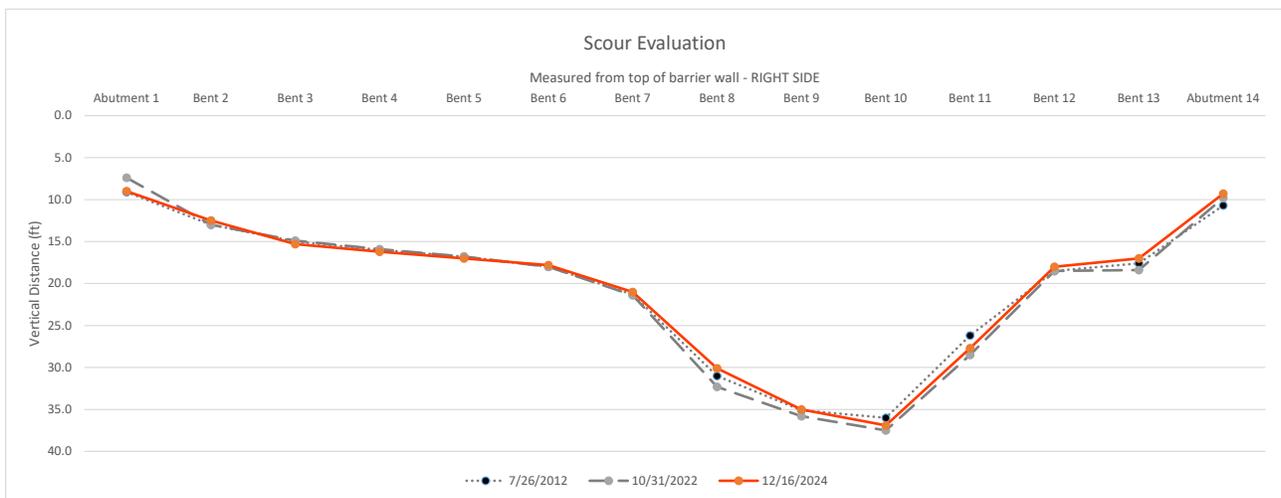
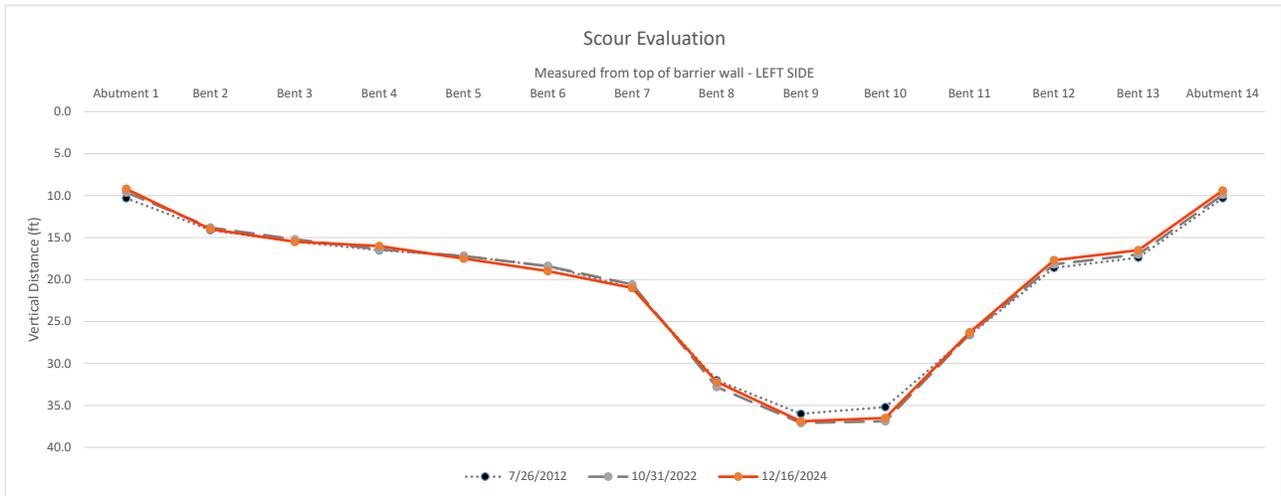
City: Marco Island

Description: Recommended Bridge Repairs

ITEM NO.	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	COST PER ITEM
101-1	MOBILIZATION (5%)	1	LS	\$4,771	\$4,771
102-1	MAINTENANCE OF TRAFFIC	1	LS	\$7,500	\$7,500
327-70-5	MILLING EXISTING 2" ASPHALT	1579	SY	\$4	\$6,315
334-1-57	SUPERPAVE ASPHALT 2"	174	TN	\$230	\$39,940
401-70-4	RESTORE SPALLED AREAS	0.34	CF	\$925	\$312
411-2	CRACKS, INJECT & SEAL	24	LF	\$250	\$6,000
458-1-21	REPAIR/REPLACE DECK POURED JOINT	144	LF	\$100	\$14,400
458-2	POLYMER NOSING FOR DECK EXP. JOINT	16	CF	\$1,100	\$17,459
710-1	PAVEMENT MARKINGS	1	LS	\$3,500	\$3,500
					\$15,030
15% Contingency					
				TOTAL	\$115,227

TAB 6

SCOUR EVALUATION



LEFT SIDE				RIGHT SIDE			
	7/26/2012	10/31/2022	12/16/2024		7/26/2012	10/31/2022	12/16/2024
Abutment 1	10.3	9.6	9.2	Abutment 1	9.1	7.4	9.0
Bent 2	14.1	13.8	14.0	Bent 2	13.0	13.0	12.5
Bent 3	15.5	15.2	15.5	Bent 3	15.0	14.9	15.3
Bent 4	16.5	16.4	16.0	Bent 4	16.0	15.9	16.2
Bent 5	17.2	17.2	17.5	Bent 5	16.8	16.8	17.0
Bent 6	18.4	18.4	19.0	Bent 6	18.0	18.0	17.8
Bent 7	21.0	20.6	21.0	Bent 7	21.3	21.4	21.0
Bent 8	32.0	32.8	32.2	Bent 8	31.0	32.3	30.1
Bent 9	36.0	37.1	36.9	Bent 9	35.1	35.8	35.0
Bent 10	35.2	36.9	36.5	Bent 10	36.0	37.5	36.9
Bent 11	26.6	26.5	26.3	Bent 11	26.2	28.5	27.7
Bent 12	18.6	18.2	17.7	Bent 12	18.5	18.5	18.0
Bent 13	17.4	17.0	16.5	Bent 13	17.6	18.4	17.0
Abutment 14	10.3	9.9	9.4	Abutment 14	10.7	9.8	9.3

BRIDGE WAS INVENTORIED SOUTH TO NORTH

Key Marco Community Development District

Balance Sheet

02/11/25

As of January 31, 2025

Accrual Basis

	<u>Jan 31, 25</u>
ASSETS	
Current Assets	
Checking/Savings	
Fifth Third Money Market	234,010.02
Fifth Third Public Fund	320,176.28
First Horizon Money Market	250,724.51
Seacoast Bank Money Market	239,490.76
Total Checking/Savings	<u>1,044,401.57</u>
Other Current Assets	
Prepaid Expenses	-3,705.95
Total Other Current Assets	<u>-3,705.95</u>
Total Current Assets	<u>1,040,695.62</u>
TOTAL ASSETS	<u>1,040,695.62</u>
LIABILITIES & EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
Accounts Payable	-251.67
Total Accounts Payable	<u>-251.67</u>
Other Current Liabilities	
Deposits and Prepaid Items	-3,705.95
Total Other Current Liabilities	<u>-3,705.95</u>
Total Current Liabilities	<u>-3,957.62</u>
Total Liabilities	-3,957.62
Equity	
Opening Balance Equity	2,341.71
Retained Earnings	939,788.03
Supspense Account	4,425.48
Unassigned Fund Balance	899.11
Net Income	97,198.91
Total Equity	<u>1,044,653.24</u>
TOTAL LIABILITIES & EQUITY	<u>1,040,695.62</u>

Key Marco Community Development District Profit & Loss Budget Performance January 2025

	Jan 25	Budget	Oct '24 - Jan 25	YTD Budget	Annual Budget
Income					
FEMA Proceeds	0.00		0.00	0.00	0.00
Interest Income	1,275.12	833.33	6,036.05	3,333.36	10,000.00
Maintenance Assessments (4%)	-255.00	-1,300.00	-6,749.00	-5,200.00	-9,100.00
Maintenance Assessments - Levy	8,500.00	32,542.86	175,100.00	130,171.42	227,800.00
Miscellaneous Income	0.00	0.00	0.00	0.00	0.00
Road Use Fee Revenue	558.42	416.66	1,578.14	1,666.72	5,000.00
Total Income	10,078.54	32,492.85	175,965.19	129,971.50	233,700.00
Gross Profit	10,078.54	32,492.85	175,965.19	129,971.50	233,700.00
Expense					
ACCESS CONTROL					
Contractual Services	0.00		0.00	0.00	0.00
Operating Supplies	0.00		0.00	0.00	0.00
R&M Gatehouse	0.00		0.00	0.00	0.00
R&M Gates	0.00		0.00	0.00	0.00
Utilities	0.00		0.00	0.00	0.00
Total ACCESS CONTROL	0.00		0.00	0.00	0.00
ADMINISTRATION					
Accounting Services	0.00		0.00	0.00	0.00
Assessment Rolls	0.00	0.00	0.00	0.00	500.00
Attorney Fees	0.00	583.33	4,540.75	2,333.36	7,000.00
Audit Fees	0.00	0.00	0.00	0.00	5,000.00
Bank Fees	0.00	0.00	0.00	0.00	0.00
Computer- Website Support	0.00	50.00	330.00	200.00	600.00
Dues, Licenses, Subscriptions	0.00	0.00	185.00	0.00	175.00
Engineering Fees	0.00	1,000.00	305.00	4,000.00	12,000.00
FICA Taxes	0.00	0.00	0.00	0.00	0.00
Insurances	0.00	0.00	49,326.65	55,000.00	55,000.00
Legal Advertising	0.00	291.66	856.56	1,166.72	3,500.00
Management Fees	0.00		0.00	10.00	10.00
Office Supplies	0.00	0.00	0.00	200.00	200.00
Postage	0.00		17.95	20.00	20.00
Property Appraiser	0.00	0.00	705.76	0.00	830.00
Property Tax Collector (2%)	164.90	614.28	998.61	2,457.16	4,300.00
Rentals & Leases	0.00	0.00	0.00	0.00	0.00
Road Use Fee Study	0.00	0.00	0.00	0.00	0.00
Supervisor Expenses	0.00	0.00	1,800.00	3,000.00	5,000.00
Trascription Costs	0.00	0.00	0.00	0.00	0.00
Total ADMINISTRATION	164.90	2,539.27	59,066.28	68,387.24	94,135.00
CAPITAL EXPENDITURES & PROJECTS					
Bridge Inspection Reserves	0.00	0.00	0.00	5,000.00	5,000.00
Bridge Painting	0.00	0.00	0.00	0.00	0.00

Key Marco Community Development District Profit & Loss Budget Performance January 2025

	Jan 25	Budget	Oct '24 - Jan 25	YTD Budget	Annual Budget
Bridge Reserves	0.00	0.00	0.00	18,000.00	18,000.00
Bridge Sidewalk/Curb Painting	4,440.00	0.00	10,360.00	18,000.00	18,000.00
Contingency Reserves	0.00	0.00	0.00	0.00	8,565.00
Gate Access Control	0.00	0.00	0.00	0.00	0.00
Gate Operator Replacement	0.00	0.00	0.00	0.00	0.00
Gatehouse Gates	0.00	0.00	0.00	0.00	0.00
Hurricane Contingency	0.00	0.00	2,840.00	0.00	40,000.00
Landscape Improvements	0.00	0.00	0.00	0.00	0.00
Landscape Lighting	0.00	0.00	0.00	0.00	0.00
Roads	0.00	0.00	0.00	0.00	40,000.00
Roads - Root Barrier	0.00	0.00	0.00	0.00	0.00
Solar Streetlighting	0.00	0.00	0.00	0.00	0.00
Street Lighting	0.00	0.00	0.00	0.00	0.00
Total CAPITAL EXPENDITURES & PROJECTS	4,440.00	0.00	13,200.00	41,000.00	129,565.00
Hurricane Ian Expenses					
Hurricane Ian Debris Cleanup	0.00	0.00	0.00	0.00	0.00
Hurricane Ian Gatehouse Repair	0.00	0.00	0.00	0.00	0.00
Hurricane Ian Irrigation Repair	0.00	0.00	0.00	0.00	0.00
Hurricane Ian Expenses - Other	0.00	0.00	0.00	0.00	0.00
Total Hurricane Ian Expenses	0.00	0.00	0.00	0.00	0.00
Irrigation Services	0.00	0.00	0.00	0.00	0.00
MAINTENANCE AND LANDSCAPING	0.00	0.00	0.00	0.00	0.00
ROADWAY SERVICES					
Repairs & Maintenance	0.00	0.00	6,500.00	10,000.00	10,000.00
Total ROADWAY SERVICES	0.00	0.00	6,500.00	10,000.00	10,000.00
STREET LIGHTING					
Holiday Decor	0.00	0.00	0.00	0.00	0.00
R&M - General	0.00	0.00	0.00	0.00	0.00
Utilities - Electric	0.00	0.00	0.00	0.00	0.00
Total STREET LIGHTING	0.00	0.00	0.00	0.00	0.00
Total Expense	4,604.90	2,539.27	78,766.28	119,387.24	233,700.00
Net Income	5,473.64	29,953.58	97,198.91	10,584.26	0.00